



P.O. Box 2430

Indian Trail, North Carolina 28079

PLANNING AND NEIGHBORHOOD SERVICES DEPARTMENT

Conditional Zoning Staff Report

Case: CZ 2015-005			
Reference Name	Waxhaw Indian Trail Senior Concept Housing		
Request	Proposed Zoning	CZ Single-Family Residential (SF-5)	
	Proposed Uses	Single-Family Residential	
Existing Site Characteristics	Existing Zoning	Single Family (SF-1)	
	Existing Use	Single Family Home	
	Site Acreage	Approximately 16 Acres	
Applicant	Blake Communities VP2-SC, LLC		
Submittal Date	September 19, 2015		
Location	Waxhaw Indian Trail Road, north of Blanchard Circle		
Tax Map Number(s)	Rezoning: 07117010, 07117010A, 07117010B and 07117010C		
Plan Consistency	Comprehensive Plan		
Recommendations & Comments	Planning Staff	Designation	Old Monroe, Medium Density Residential
		Consistent with Request	Yes

Project Summary

This is a request to reclassify various parcels totaling approximately 16 acres. The rezoning is from Single Family (SF-1) to Single-Family (SF-5) with a conditional zoning district. The SF-5 zoning district is a moderate/high density single-family residential zoning district. The intent of this request is to allow approximately 49 single-family dwelling units intended to be age-targeted housing for persons 55 years and older. The subject property is located on Waxhaw Indian Trail Road, north of Blanchard Circle. (See Attachment 1, Application and Map 1 below).

Staff Recommendation

Staff is of the opinion the necessary findings can be made to support this Conditional Zoning request.

Map 1: Location Map and Municipal Boundary



Staff Analysis

Current Use and Zoning

The subject property consists of several parcels on Waxhaw Indian Trail Road, north of Blanchard Circle. There is an existing single family home which will be demolished.

Location Characteristics and Surrounding Zoning

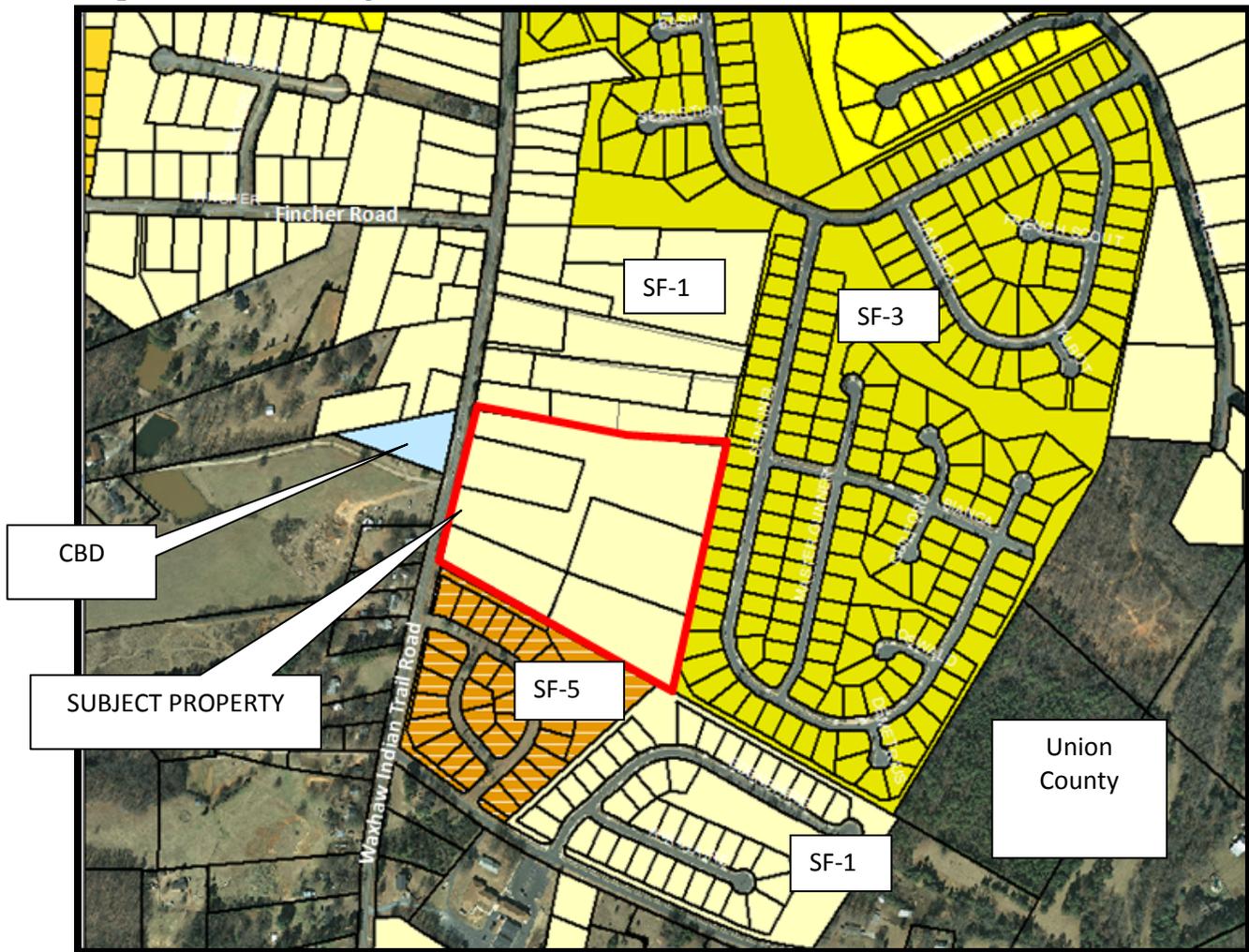
The property is currently zoned Single Family (SF-1). See below Map 2: Current Zoning. The current zoning for the surrounding area is single family residential, with one parcel containing a local business (Gators Deli). See table below summarizing the surrounding zoning and uses.

The surrounding development consists of single-family residential to the north, south, east and west including Colton Ridge, Satterfield and Arbors at Blanchard subdivisions, as well as Gator's Deli, a local business.

Summary of Surrounding Zoning and Uses

Surrounding Subject Property	Municipality	Zoning	Use
North	Town of Indian Trail	Single Family (SF-1)	Single Family homes
East	Town of Indian Trail	Single Family (SF-3)	Single Family Subdivision: Colton Ridge
South	Town of Indian Trail	Single Family (SF-1) Special Use Permit	Single Family Subdivision: Satterfield
South	Town of Indian Trail	Single-Family (SF-5) Conditional Zoning	Single Family Subdivision: Arbors at Blanchard
West	Town of Indian Trail; Union County	Central Business District (CBD); Residential (R-20)	Gator's Deli; Single Family homes

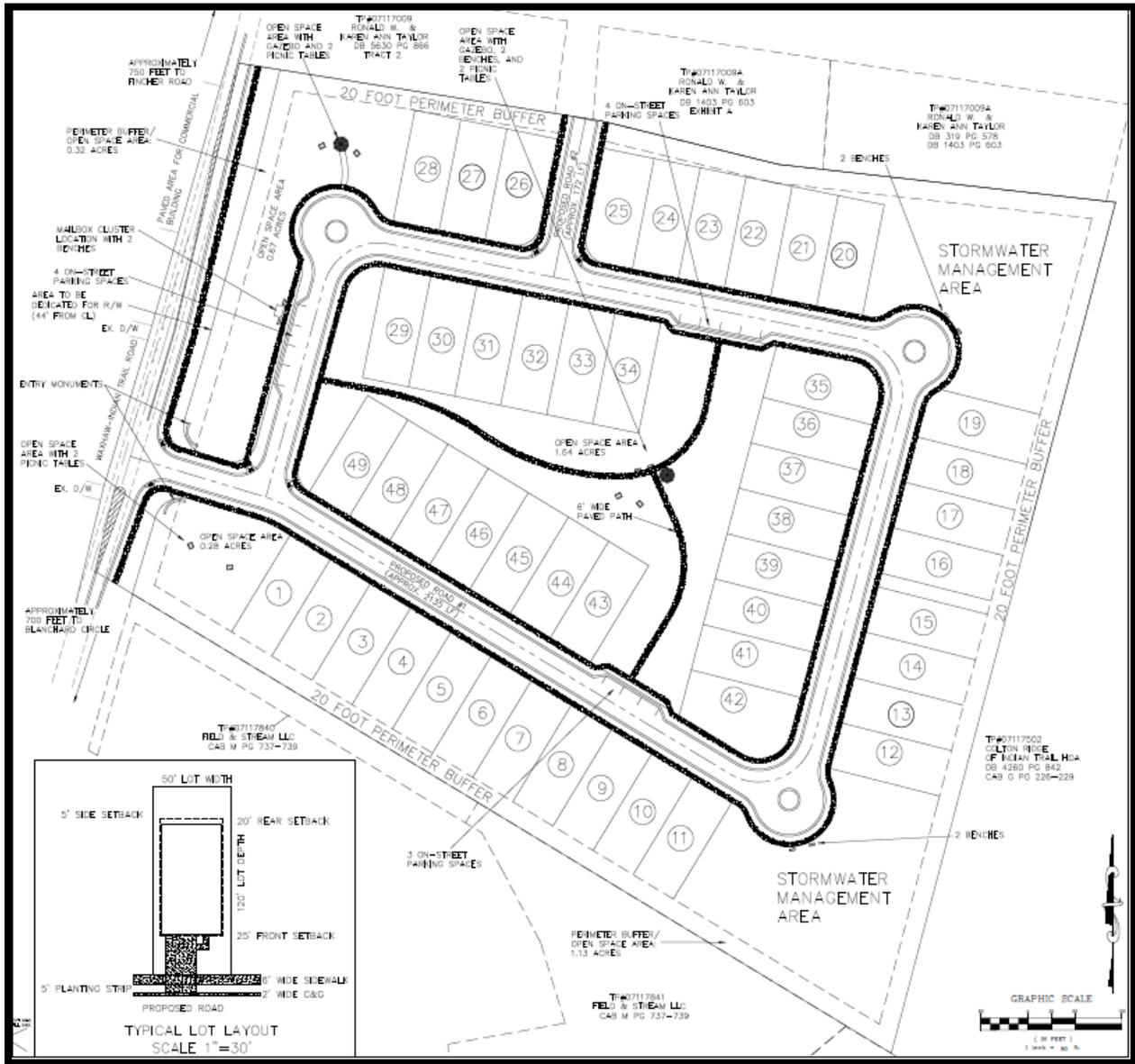
Map 2: Current Zoning



Concept Plan

The Conceptual Plan, included in Attachment 2 (also, see below Map 3: Concept Plan) reflects development of approximately 49 single-family detached homes intended to be age-targeted for a 55+ community. The following will provide a brief overview of key elements of the Concept Plan.

Map 3: Concept Plan



Senior Housing Concept – Age-Targeted

The proposed development will be age-targeted to persons 55 years of age or older. The age-targeted concept does not require any restrictive covenants to be recorded limiting the potential residents to those who are over the age of 55. Instead, it is designed and developed to attract a resident of a certain age category. Such features include but are not limited to single-level living or master bedrooms on the same floor as the living space (i.e., the first floor), slab-on-grade construction to facilitate the use of wheel chairs or other mobility devices if needed, wider door openings to accommodate medical/mobility or other devices, and maintenance-free living.

Site Layout: The Concept Plan contemplates approximately 49 lots, detention ponds with amenities, common open space areas, on-street parking in key location as well as connecting sidewalks throughout the entire community and an opportunity for future connection to any development directly north of the subject site.

Onsite Roadway Improvements: Access within the site will be provided by a minimum of 50-ft wide Rights-of-Way (ROW) that will be designed with curb/gutter, sidewalks, street lights and street trees. The UDO permits a single access point for subdivisions with less than 50-lots.

Roadway and Frontage Improvements: The community will have one access point off Waxhaw Indian Trail Road. North Carolina Department of Transportation (NCDOT) will require the appropriate roadway improvements (i.e., left turn lane and stacking distances) to be provided in order to ensure appropriate access into and out of the development.

In addition, the Waxhaw Indian Trail Road frontage will be improved with curb/gutter, a 6 foot sidewalk, street trees and street lights.

Open Space and Tree Retention: Approximately 2.3 acres of open space will be provided within the community. All open space areas will contain a combination of ornamental landscaping including trees and shrubs, as well as passive recreation fixtures where feasible. See Attachment 2.

Architectural Design: All homes will be built in general accordance with the elevations in the draft Ordinance (Attachment 2) and will provide the Master bedrooms on the first floor to support the age-targeted marketing concept.

Lot Frontage, Setbacks and Height: Lots shall provide 50' width, as generally referenced on the concept plan (Attachment 2). Setbacks and other requirements shall be provided as follows:

Lot Width	Lot Area Minimum	Front and Rear Setback	Side Setback	Maximum Height
50 foot minimum	6000 square feet minimum	25 feet Front *(see note regarding Garage placement below) 20 feet Rear	5 feet on interior lots 10 feet on corner lots	35 feet maximum
* Garage: may be a maximum of 2 feet in front of the front façade or porch, if one exists.				

Community Meetings

The applicant held two community meetings as required by UDO Section 330.020. The purpose of the meetings is to solicit comments and concerns from surrounding property owners. Notices for the community meetings consisted of advertising in the newspaper, and sending first class mailed notices to the owners of surrounding properties and Homeowners Associations within 500 feet of the project site. The first community meeting was held at Union West Regional Library on January 27, 2016 from 3pm-5pm and the second was held at the Town’s Civic Building from 6pm-8pm that same day. See Attachment 3 for meeting minutes and public comments. The following will provide a brief summary of the Town required community meetings.

- *3pm-5pm Meeting:* This meeting was attended by 2 members of the public, the applicant’s team, and Town staff. General questions were raised regarding flooding concerns.

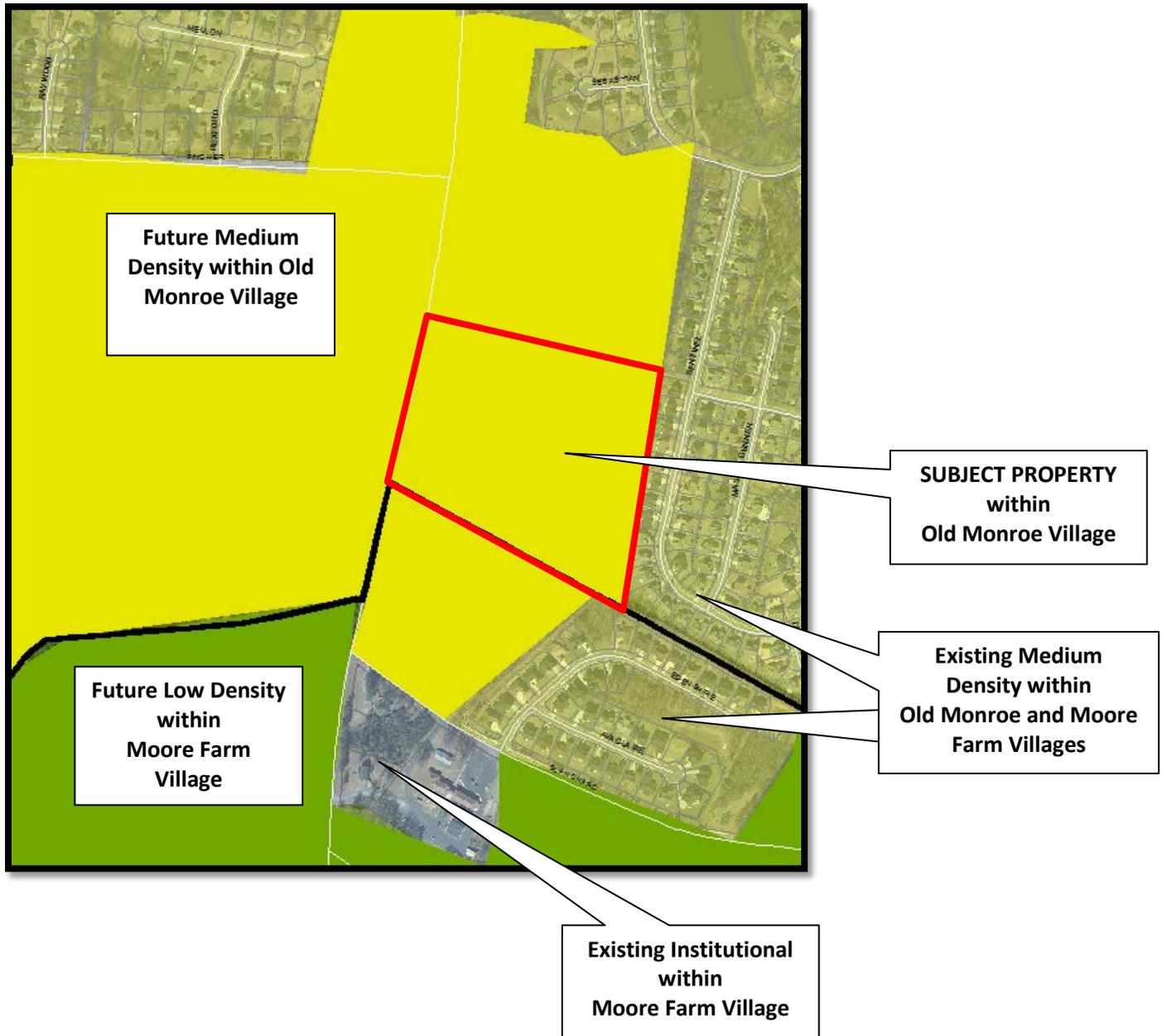
- *6pm-8pm Meeting:* There were approximately 2 members of the public in attendance in addition to the applicant's team and Town staff. General questions were raised regarding flooding concerns. See Attachment 3 for Meeting Notes.

In response to the concerns raised at the community meeting, Town Planning and Engineering staff visited the subject site and adjacent property owner(s). At the conclusion of the site visit, the applicant agreed to design the stormwater management areas in a manner that would help minimize drainage impacts to neighboring properties. A condition of approval has been included with regard to the design of the stormwater management areas.

Comprehensive Plan

The Indian Trail Comprehensive Plan organizes the Town into a series of interconnected villages which not only helps create a well managed growth and community development pattern, but also provides meaningful identity for Indian Trail residents. The subject property is located within Old Monroe Village of the Comprehensive Plan. See Map 4 below. This Village is intended to consist of predominantly medium to low density residential. The proposed future land use of the subject property is Medium Density Residential, which allows 2 – 4 dwelling units per acre. The proposed 49 units development on approximately 16 acres has an approximate density of 3.0 dwelling units per acre, which is consistent with the future land use map. Staff is of the opinion that the proposal is consistent with the goals of the Comprehensive Plan.

Map 4: Future Land Use Map



Draft Conditions

See the attached draft Ordinance with the recommended Conditions of Approval.

Comments from Outside Agencies

- *North Carolina Department of Transportation (NCDOT):* NCDOT has provided the following comments:
 - Provide a left-turn lane, with 100 foot stacking on Waxhaw Indian Trail Road.
- *Union County Public Works (UCPW):* Pending final sketch plan approval.
- *Union County Public Schools (UCPS):* The proposed 49 sfu subdivision would be in the following school attendance areas for the 2015-2016 school year:

**Indian Trail Elementary School
Sun Valley Middle School
Sun Valley High School**

Both Indian Trail ES and Sun Valley MS are expected to remain below watch and cap levels for the foreseeable future. However, Sun Valley HS is expected to exceed its watch level in 2017. Additional residential construction can accelerate this approach and possibly force a capping situation. Prior to reaching a cap, high enrollments contribute to problems such as additional mobile classrooms, inadequate capacity for food service and restroom facilities, rationing of access to the media center, insufficient parking and queuing space for parents to safely deliver or pick up their children, and inadequate planning/meeting space for additional staff.

- *Union County Fire Marshal (UCFM)*: No comments at this time.
- *Union County Sheriff*: Comments regarding ensuring driveway depths were adequate to accommodate a car or truck parked without obstructing the sidewalk.

Action Required

The Planning Board must adopt a statement of consistency and reasonableness prior to making a motion for recommendation. The finding must be made that the proposed amendment is both reasonable and consistent with the Comprehensive Plan. Staff is of the opinion the goals of the Comprehensive Plan are satisfied as follows:

- *Land Use and Housing Goals #1, 2 and 5*: The proposed project promotes compatibility of land uses between neighboring properties and residential properties within surrounding jurisdictions, increases the diversity of housing options within Indian Trail, and proposes high quality design to promote attractive land development; and
- *Mobility and Transportation Goal #3*: The proposed development incorporates pedestrian amenities and connectivity throughout the community, as well as opportunity to connect to any future development directly north of this development.

The request for this conditional zoning district (SF-5 District) is a reasonable request and is in the public interest because supports the goals of the adopted Comprehensive Plan and includes elements that benefit the general public in the areas of transportation, land use and housing.

Recommendation

Staff is of the opinion that the findings can be made to support a conditional zoning district for the subject property. The proposed conditional rezone is consistent with the Town's Comprehensive Plan.

Attachment 1 – Application

Attachment 2 – Draft Ordinance with attached Exhibits

Attachment 3 – Community Meeting Minutes and Public Comments

Staff Contact

Gretchen Coperine, AICP

704 821-5401

gcoperine@planning.indiantrail.org

PB Attachment 1- Application

R-000639

Inv 25628

C22015-005

CONDITIONAL ZONING APPLICATION



PLANNING AND NEIGHBORHOOD SERVICES

PO Box 2430

Indian Trail, NC 28079

Telephone (704) 821-5401

Fax (704) 821-9045

149 adjac properties

ONLY COMPLETE APPLICATIONS ACCEPTED

Processing Fee: <2 acres \$400, 2-10 acres \$800, >10 acres \$1,500, Minor Modification \$250

Engineering Fees: <2 acres \$100, 2-10 acres \$175, >10 acres \$250

Notification Fee \$2.50 per adjoining property owner

****A TECHNOLOGY FEE, 10% OF ALL ASSOCIATED FEES, WILL BE APPLIED TO THE TOTAL FEE.****

Date Received _____

09-21-15 09:01 AM

CONDITIONAL ZONING APPLICATION

Submittal Requirements

- Completed Application
- Notarized signatures of applicant and property owner
- Letter of Intent
- 5 copies of Concept Plan (must be drawn to scale by architect, landscape architect, professional surveyor, or engineer licensed in North Carolina)
- Boundary Survey (acreage, current zoning, location of existing buildings, setbacks)
- List, address labels, and digital copy of all adjoining property owners within 500 feet of subject parcel
- Traffic Impact Analysis, if necessary
- Statement of Appraisal, if necessary
- Fees associated with review
- ****A TECHNOLOGY FEE, 10% OF ALL ASSOCIATED FEES, WILL BE APPLIED TO THE TOTAL FEE.**

General Information

Project Address 2323 Waxhaw-Indian Trail Road

City Indian Trail State NC Zip 28079

Tax Parcel ID 07117010 (A,B,C) Zoning Designation SF-1 (CURRENT)

Total Acres 15.90 Impervious Area TBD

Project Description PROJECT WILL CONTAIN XX LOTS

Contact Information – Applicant

Name Blake Communities VP2-SC, LLC Attn: Brandon Morrissey or Christian Ross

Address Post Office Drawer 7598

City St. Petersburg State FL Zip 33764

Phone 727-498-3330 Fax _____

Email bmorrissey@bwtcompany.com cross@bwtcompany.com

Contact Information – Property Owner

Name SHELBY, PATRICIA R, ET AL PARCELS 07117010A, 07117010B, 07117010C

Address 2323 WAXHAW-INDIAN TRAIL ROAD

City INDIAN TRAIL State NC Zip 28079

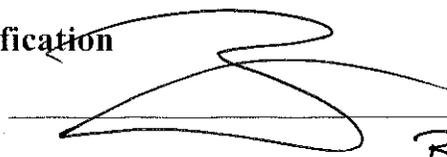
Phone _____ Fax _____ PROPERTY OWNER PARCEL 07117010

Email PATSYSHELBY@YAHOO.COM DOVER, JERRY NORMAN
P.O. BOX 460, ELGIN, SC 29045-0460
DOVER.JERRY@ATT.NET

APPLICATION

Applicant's Certification

Signature



Date

9/3/2015

Printed Name/Title

BRANDON MORRISSEY

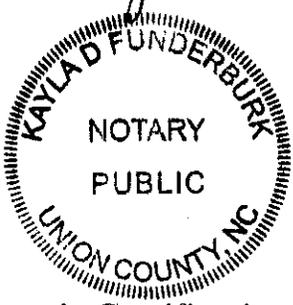
Signature of Notary Public



Date

9/3/15

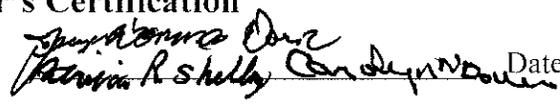
Notary Seal



Expires June 21, 2020

Property Owner's Certification

Signature



Date

9/3/15

Printed Name/Title

Jerry Norman Dover, Carolyn N. Dover, Patricia R. Shelby

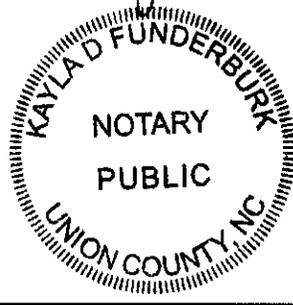
Signature of Notary Public



Date

9/3/15

Notary Seal



Expires June 21, 2020

TOWN OF INDIAN TRAIL OFFICE USE ONLY

Case Number: _____

Date Received: _____

Amount of Fee: _____

Received By: _____

Receipt #: _____



September 21, 2015

Mr. Rox Burhans
Planning Director
Town of Indian Trail
Box 2430
Indian Trail, NC 28079

Re: Rezoning Letter of Intent
Parcels 07117010, 07117010A, 07117010B, 07117010C

Mr. Burhans:

On behalf of our client, Blake Communities VP2-SC, LLC, it is our pleasure to present this conditional zoning application for the parcels listed above.

The area of the conditional zoning is approximately 15.9 acres located along Waxhaw-Indian Trail Road. These parcels are currently zoned as single family residential (SF-1). Our proposal is to request a conditional zoning that would provide a moderate density residential use as outlined in the 2014 Comprehensive Plan. Enclosed with the package is a lot layout and sample architectural elevations for the housing proposed.

If you have any questions or need any additional information, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew G. Velkovich".

Matthew G. Velkovich, P.E.
Senior Civil Project Manager

09-21-15 P02:05 IN

STATE OF NORTH CAROLINA)
)
TOWN OF INDIAN TRAIL)

ORDINANCE # **DRAFT**

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE TOWN OF INDIAN TRAIL REZONING PARCELS 07117010, 07117010A, 07117010B and 07117010C FROM FINGLE FAMILY SF-1 DISTRICT TO CZ- SF-5 SINGLE FAMILY DISTRICT WITHIN OLD MONROE VILLAGE, IN THE TOWN OF INDIAN TRAIL, UNION COUNTY, NORTH CAROLINA

WHEREAS, the applicant Blake Communities VP2-SC, LLC on behalf of the property owners Patricia Shelby, et al., petitioned to rezone parcels 07117010, 07117010A, 07117010B and 07117010C from Single Family SF-1 District to a Conditional Zoning District SF-5 Single Family District for the purpose developing approximately 49 single-family dwelling units; and

WHEREAS, this Conditional Zoning Amendment (CZ2015-005) was duly noticed in compliance with North Carolina General Statutes; and

WHEREAS, two community meetings were held on January 27, 2016; and

WHEREAS, a public meeting was held by the Planning Board on February 16, 2016 to consider this conditional zoning request; and

WHEREAS, the Planning Board after hearing the case and public comments found the proposed map amendment is consistent with the following goals of the Comprehensive Plan:

- *Land Use and Housing Goals #1, 2 and 5:* The proposed project promotes compatibility of land uses between neighboring properties and residential properties within surrounding jurisdictions, increases the diversity of housing options within Indian Trail, and proposes high quality design to promote attractive land development; and
- *Mobility and Transportation Goal #3:* The proposed development incorporates pedestrian amenities and connectivity throughout the community, as well as opportunity to connect to any future development directly north of this development.

The request for this conditional zoning district (SF-5 District) is a reasonable request and is in the public interest because supports the goals of the adopted Comprehensive Plan and includes elements that benefit the general public in the areas of transportation, land use and housing.

WHEREAS, after making the draft findings the Planning Board **approved/denied** ___ to ___ the motion to transmit a recommendation to **approve/deny** as conditioned to the Town Council; and

WHEREAS, the Town Council held a public hearing on **March** __, 2016 to consider said request and recommendation of approval from the Planning Board; and

WHEREAS, the Town Council concurred with the Planning Board’s consistency findings and hereby endorses said findings; and

NOW, THEREFORE, IT SHALL BE ORDAINED by the Town Council of the Town of Indian Trail, North Carolina that it hereby takes the following action:

Section 1 – Approves CZ 2015-005 Conditional Zoning Petition thereby granting the Zoning Map amendment to establish Conditional Zoning District of SF-5 Single Family for the purpose developing approximately 49 single-family dwelling units and subject to the following conditions:

1. *Subject Parcels:* Rezoning – 07117010, 07117010A, 07117010B and 07117010C to CZ-SF-5.
2. *Permitted Uses:* The permitted use on the subject property is single-family detached residential and accessory uses as permitted the UDO.
3. *Permitted Number of Units:* The maximum number of units on the subject development shall not exceed 49 single-family detached dwelling units.
4. *Lot Frontage, Setbacks and Height:* Lots shall provide 50’ width, as generally referenced on the concept plan (**Exhibit 1**). Setbacks and other requirements shall be provided as follows:

Lot Width	Lot Area Minimum	Front and Rear Setback	Side Setback	Maximum Height
50 foot minimum	6000 square feet minimum	25 feet Front *(see note regarding Garage placement below) 20 feet Rear	5 feet on interior lots 10 feet on corner lots	35 feet maximum
* Garage: may be a maximum of 2 feet in front of the front façade or porch, if one exists.				

5. *Conceptual Plan:* The proposed single-family development and associated improvements shall comply with the conceptual plan attached herein as **Exhibit 1**.
 - a. *On-street parking:* on-street parking shall be provided at key locations as generally depicted on the Conceptual Plan.
 - b. *Open Space:* All open space areas shall be generally consistent with the layout reflected in **Exhibit 1** and shall contain trees and shrubs, as well as passive recreation fixtures where feasible. The large central open space in the concept plan in Exhibit 1 within the community shall be landscaped with plant species which require low maintenance.
 - c. *Open Space Pathway:* The pathway shown within the large central open space in the concept plan in Exhibit 1 shall be a paved surface, to the satisfaction of the Town Engineering and Planning Departments.
6. *Architecture:*
 - a. All homes shall be built in general accordance with the elevations in **Exhibit 2** and shall be constructed of brick, stone, wood, or shake siding with no vinyl or composite siding or synthetic stucco.

- b. *Vary elevations/architectural models on adjacent lots:* Every lot shall provide a different architectural model from the lot(s) adjacent to it. No two identical architectural elevations which include identical facades, roof lines, door and window placement and details, shall be built on lots adjacent to or directly across from each other.
 - c. Architectural details shall include ornamented garage doors, decorative light fixtures on either sides of the garage door, transoms above the front entry door, as generally depicted in **Exhibit 2**.
 - d. There shall be no blank walls on any side elevations.
 - e. All units shall provide the master bedroom located on the first floor to support the age-targeted marketing concept.
 - f. *Mailboxes:* A decorative cluster mailbox must be provided, as generally depicted in the conceptual plan.
7. *Tree Retention:* The development is conditioned to comply with Chapter 830- Tree Preservation Ordinance of the UDO. A Heritage tree survey and tree canopy plan is required within the site plan review process. All reasonable efforts will be made to retain the existing Heritage Trees on the site, however, it is recognized that several may need to be removed and mitigation will be undertaken in accordance with UDO Chapter 830(E) requirement.
8. *Perimeter Landscape Buffer:* A 20 foot perimeter landscape buffer shall be provided as generally depicted on the concept plan (Exhibit 1).
9. *Stormwater Management Measures:* The size of the proposed stormwater management facilities identified on the Conceptual Plan is for illustrative purposes only. The exact size shall be determined during Site Plan submittal, to meet 100-year storm requirements. Unless deemed infeasible by the Town Engineering Department, the water management facilities shall tie into the existing drop inlets along the eastern boundary (rear of the subject property) found behind Lot 184, and between Lots 191 and 192 of Colton Ridge.

All detention ponds shall provide a dense vegetation screening. Fencing shall be provided around the stormwater management improvements to minimize any visual obtrusiveness, as well as amenities including but not limited to water fountains, gathering areas and/or similar passive recreation areas for residents.
10. *Waxhaw Indian Trail Road Roadway Improvements:* Prior to the issuance of Town Zoning Compliance for any home, the developer shall be responsible for constructing the ROW improvements listed below on Waxhaw Indian Trail Road:
 - A left-turn lane with 100 foot full stacking and, and in coordination with the design for Arbors at Blanchard roadway improvements.All required roadway improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home. All roadway improvements shall be constructed to the Town of Indian Trail and NCDOT standards.
11. *Frontage Improvements:* Frontage improvements along Waxhaw Indian Trail Road shall be provided and include a 6 foot sidewalk, and street lights and curb/gutter. A minimum ROW measured 50 feet from the center line of the existing road shall be provided and dedicated to NCDOT or its assigns. All required frontage improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home.

12. *Onsite Roadway Improvements:* Internal Roads within the subject site shall be constructed with a minimum of 50' right-of-way. Improvements shall consist of two travel lanes in opposite direction, curb/gutter, 5-ft wide sidewalks, street lights and street trees. Traffic calming features may be required throughout the development and may include a combination of raised intersections, pedestrian crossings, speed tables and/or other traffic calming mechanisms, as approved by the Town Engineering Department. All roadways shall be constructed in accordance with Town Engineering Standards.
13. *Sketch Plan Approval from Union County Public Works.*
14. *Revocation:* The Town Council may act to revoke the conditional zoning district designation if the applicant fails to meet the terms of the district.

Section 2 – This ordinance shall be effective immediately upon adoption.

AND IT IS SO ORDAINED this __ day of March, 2016.

TOWN OF INDIAN TRAIL COUNCIL

Attest:

Michael Alvarez, Mayor

Kelley Southward, Town Clerk

APPROVED AS TO FORM:

TOWN ATTORNEY

The Austrian

2-3 Bedrooms
2-3 Bathrooms
2,193 sqft - 2,656 sqft



General Notes:
 1. All dimensions are shown in feet and inches. Dimensions are shown in feet and inches. Dimensions are shown in feet and inches.
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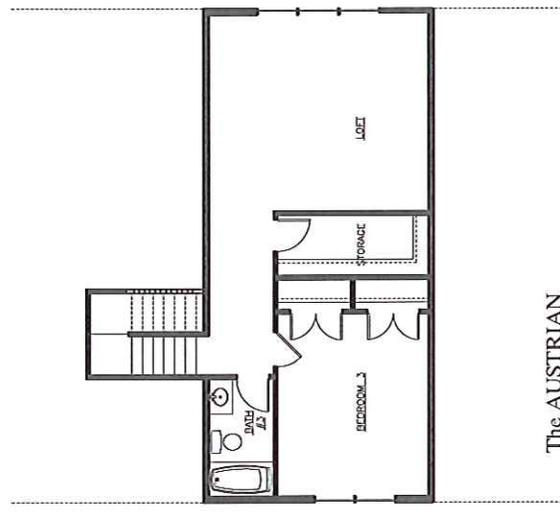
LEFT-HAND GARAGE
 The AUSTRIAN - FLOOR PLANS
 1/4" = 1'-0"

No.	Revision/Issue	Date

H&H HOMES
 JAMES GOODWIN
 VP of Operations / Regional Manager
 10000 Highway 100, Suite 100
 Dallas, TX 75243
 972-440-1111
 www.hhhomes.com



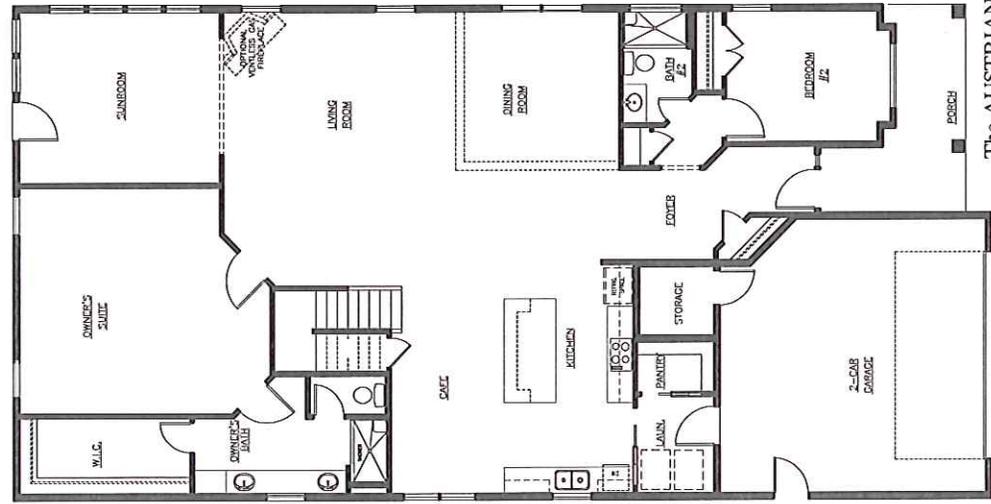
Project No.	10000
Sheet No.	10000
Scale	1/4" = 1'-0"
Sheet Size	A2



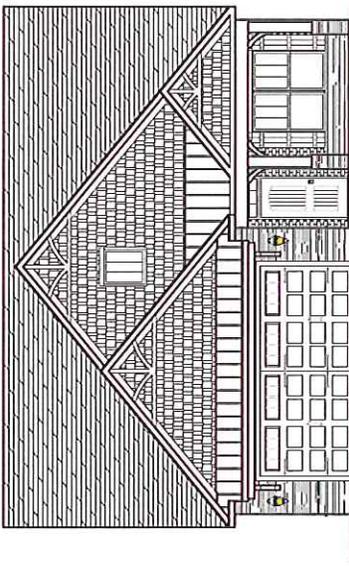
The AUSTRIAN
 OPTIONAL-SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

INDICATED AREA	
First Floor	2770 SF
Second Floor	899 SF
TOTAL	3669 SF

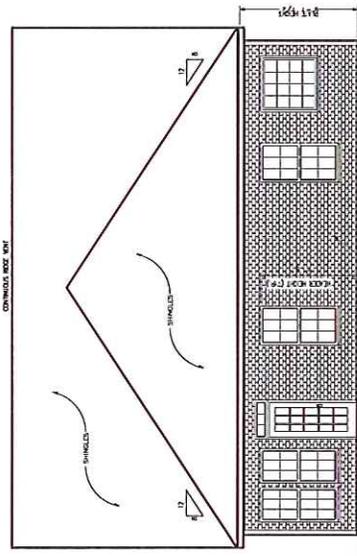
UNINDICATED AREA	
Garage	1000 SF
Front Porch	110 SF



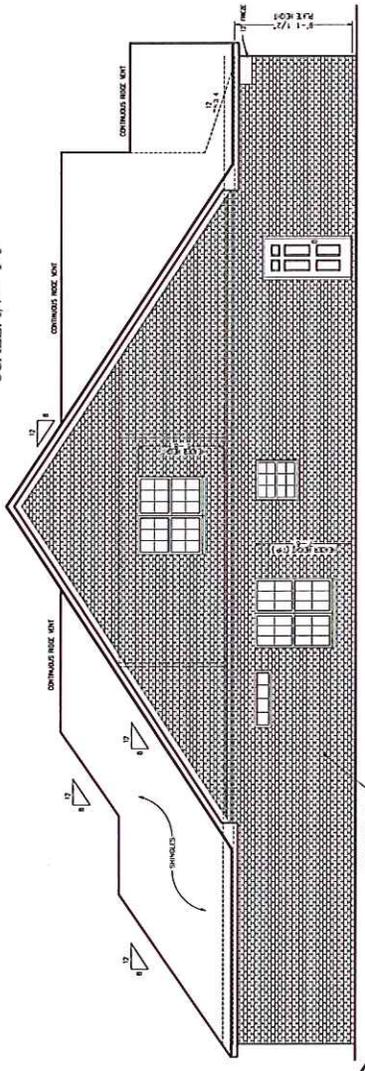
The AUSTRIAN
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



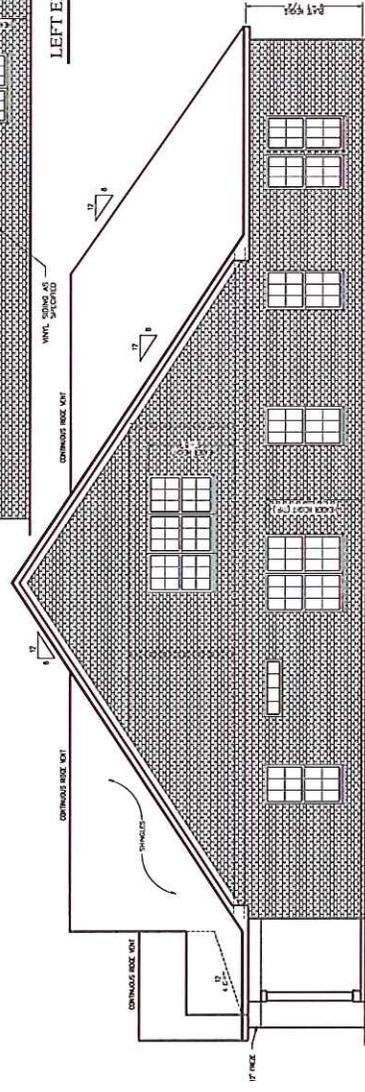
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

General Notes

1. All work shall be in accordance with the applicable building codes and standards.

2. The contractor shall be responsible for obtaining all necessary permits.

3. The contractor shall maintain the site in a safe and sanitary condition at all times.

4. The contractor shall be responsible for the removal and disposal of all debris.

5. The contractor shall be responsible for the protection of all existing utilities.

6. The contractor shall be responsible for the completion of all work within the specified time frame.

7. The contractor shall be responsible for the payment of all subcontractors and suppliers.

8. The contractor shall be responsible for the maintenance of accurate records of all work.

9. The contractor shall be responsible for the coordination of all work with the architect.

10. The contractor shall be responsible for the completion of all work in accordance with the contract documents.

LEFT-HAND GARAGE
The AUSTRIAN - ELEVATIONS
1/4" = 1'-0"

No.	Revision/Issue	Date

H&H HOMES
JAMES GORDON
VP of Operations / Regional Manager
10000 Highway 100, Suite 100
Houston, TX 77036
713.465.1111
www.hhhomes.com



Project	
Architect	
Scale	1/4" = 1'-0"
Sheet	A2

The Wollemi

2-3 Bedrooms
2-3 Bathrooms
1,987 sqft - 2,464 sqft



General Notes:
 1. All dimensions are shown in feet and inches. All dimensions are to the center of the wall unless otherwise noted.
 2. All doors are shown swinging out unless otherwise noted.
 3. All windows are shown with the sill and top of the window frame.
 4. All stairs are shown with the direction of travel.
 5. All closets are shown with the door and hanging space.
 6. All cabinets are shown with the door and countertop.
 7. All appliances are shown with the door and controls.
 8. All fixtures are shown with the door and controls.
 9. All fixtures are shown with the door and controls.
 10. All fixtures are shown with the door and controls.

The WOLLEMI - FLOOR PLANS
 1/4" = 1'-0"

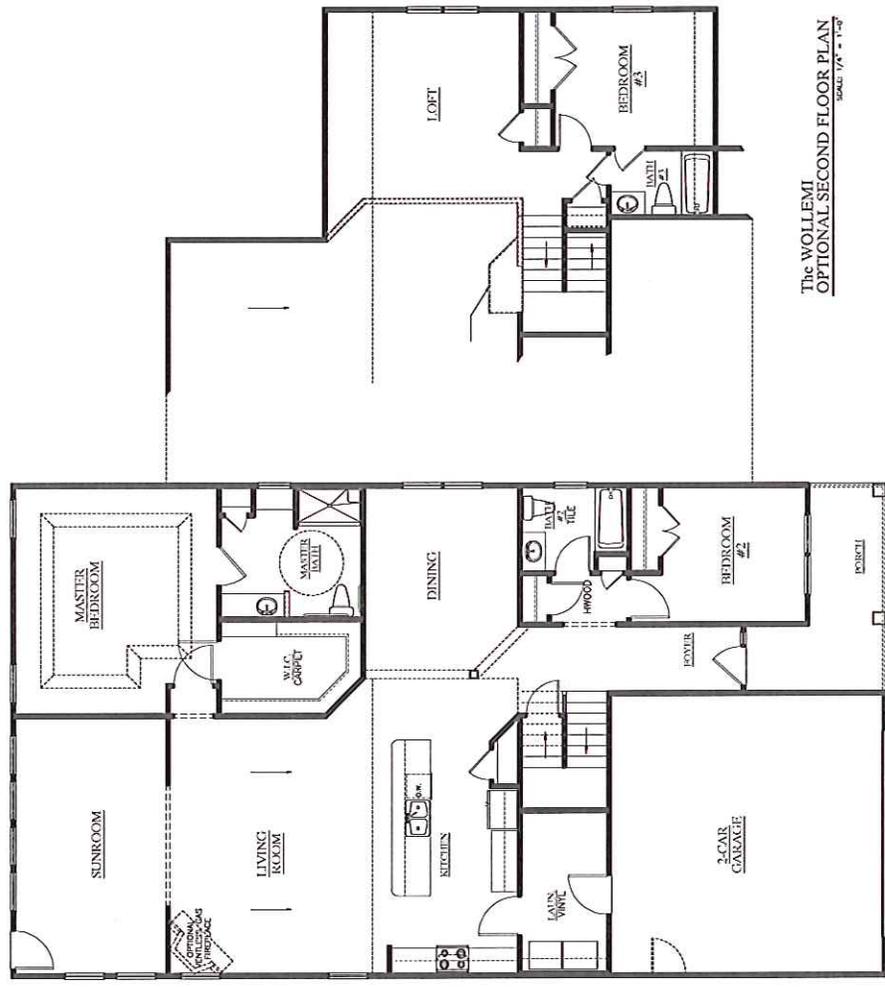
No.	Revision/Issue	Date

H&H HOMES
 HANSEL GORDON
 VP of Operations - Regional Manager
 10000 W. 10th Avenue
 Suite 1000
 Denver, CO 80202
 303.440.8888



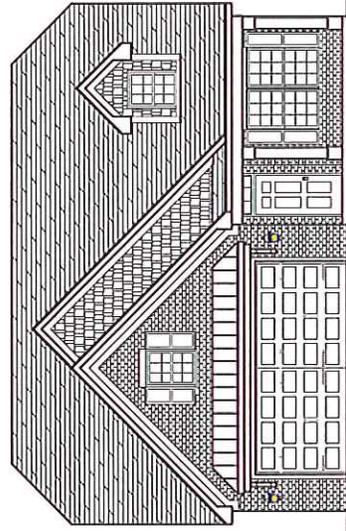
Project	The WOLLEMI
Drawn	
Scale	1/4" = 1'-0"
Sheet	A2

SQUARE FOOTAGE SUMMARY:
 FIRST FLOOR: 1887 Sq. Ft.
 OPT. LOFT: 477 Sq. Ft.
 GARAGE: 476 Sq. Ft.
 FRONT PORCH: 271 Sq. Ft.

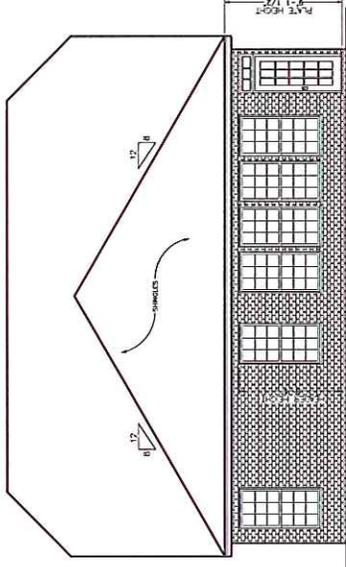


The WOLLEMI
 OPTIONAL SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

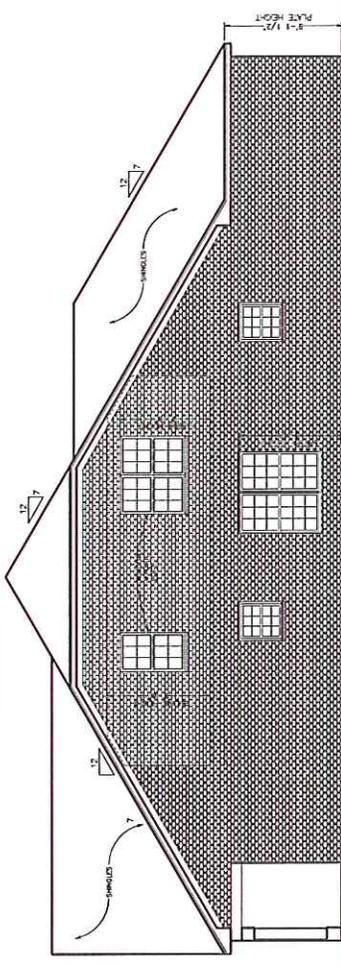
The WOLLEMI
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



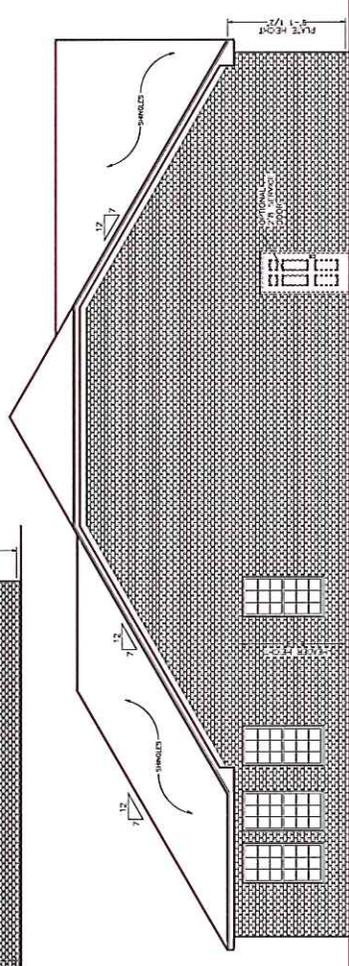
The WOLLEMI
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



The WOLLEMI
REAR ELEVATION 'C'
SCALE: 1/8" = 1'-0"



The WOLLEMI
LEFT ELEVATION 'C'
SCALE: 1/8" = 1'-0"



The WOLLEMI
RIGHT ELEVATION 'C'
SCALE: 1/8" = 1'-0"

General Notes

1. All work shall be done in accordance with the current edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the local authority having jurisdiction.

2. All materials shall be of good quality and shall conform to the requirements of the applicable building codes.

3. All work shall be done in accordance with the manufacturer's instructions for the materials used.

4. The contractor shall be responsible for obtaining all necessary permits and for paying all associated fees.

5. The contractor shall be responsible for protecting all existing work and for restoring any damaged work.

6. The contractor shall be responsible for maintaining access to all adjacent properties at all times.

7. The contractor shall be responsible for cleaning up all debris and for removing all materials from the site.

8. The contractor shall be responsible for obtaining all necessary approvals from the local authority having jurisdiction.

9. The contractor shall be responsible for obtaining all necessary approvals from the local authority having jurisdiction.

10. The contractor shall be responsible for obtaining all necessary approvals from the local authority having jurisdiction.

LEFT-HAND GARAGE
THE WOLLEMI - ELEVATIONS
1/4" = 1'-0"

No.	Revision/Issue	Date

H&H HOMES
H&H HOMES
14801 148th Avenue
Vancouver, British Columbia
V7V 1L4
Tel: 604-273-1111
Fax: 604-273-1112
www.hhhomes.com



Project	The WOLLEMI
Sheet	1/2/23
Scale	1/4" = 1'-0"
Sheet	A3

The Bristlecone

2-3 Bedrooms
2-3 Bathrooms
1,889 sqft - 2,461 sqft



General Notes

To the best of his knowledge, the designer has prepared these plans in accordance with the applicable building codes and regulations. The designer will not be liable for human error or other omissions, errors, or omissions, and the contractor shall verify all conditions, dimensions, details, and materials. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

1/4" = 1'-0"

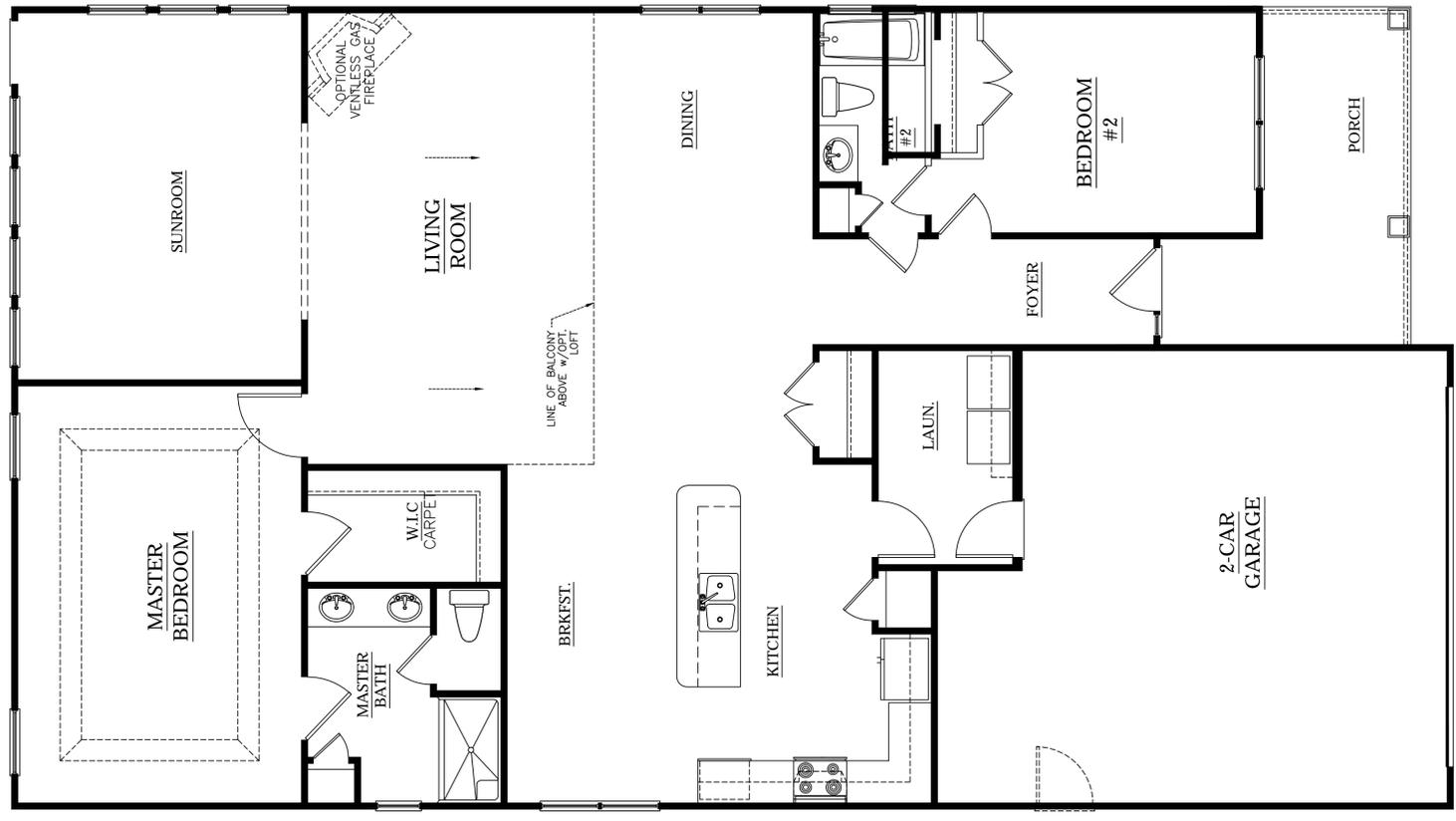
The BRISTLECONE - FLOOR PLANS

No.	Revision/Issue	Date

H&H HOMES
 JAMIE GODWIN
 VP of Operations / Regional Manager
 2918 Brezewood Avenue
 Fayetteville, NC 28411
 910.484.4884 office
 910.484.4884 cell
 910.484.0463 fax



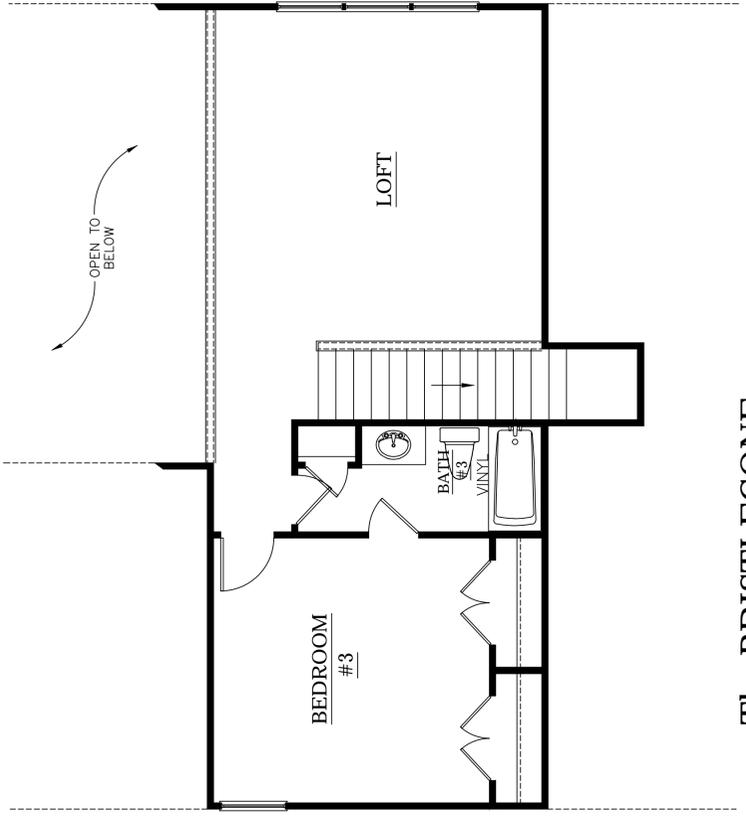
Project: The BRISTLECONE
 Sheet: A2
 Date: 12/7
 Scale: 1/4" = 1'-0"



The BRISTLECONE
 FIRST FLOOR PLAN

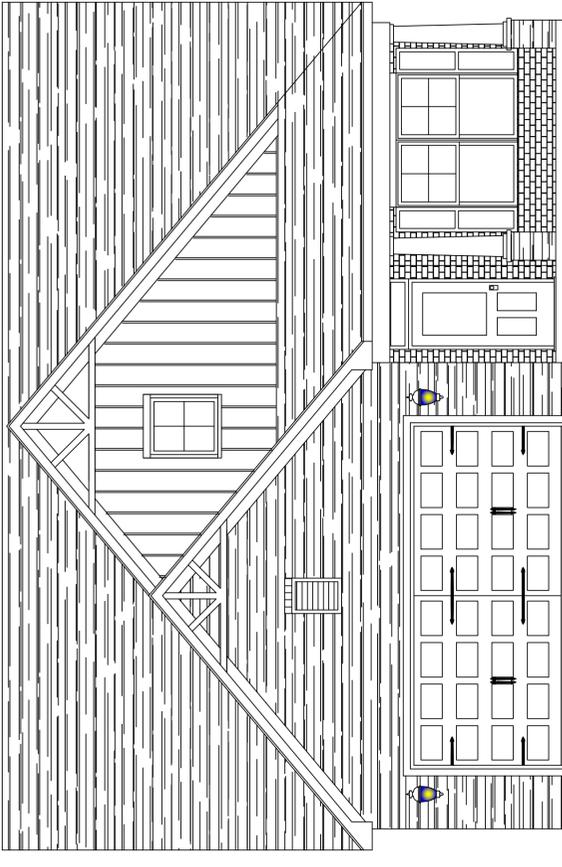
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY:
 FIRST FLOOR: 1889 Sq. Ft.
 OPT. LOFT: 572 Sq. Ft.
 GARAGE: 491 Sq. Ft.
 FRONT PORCH: 103 Sq. Ft.

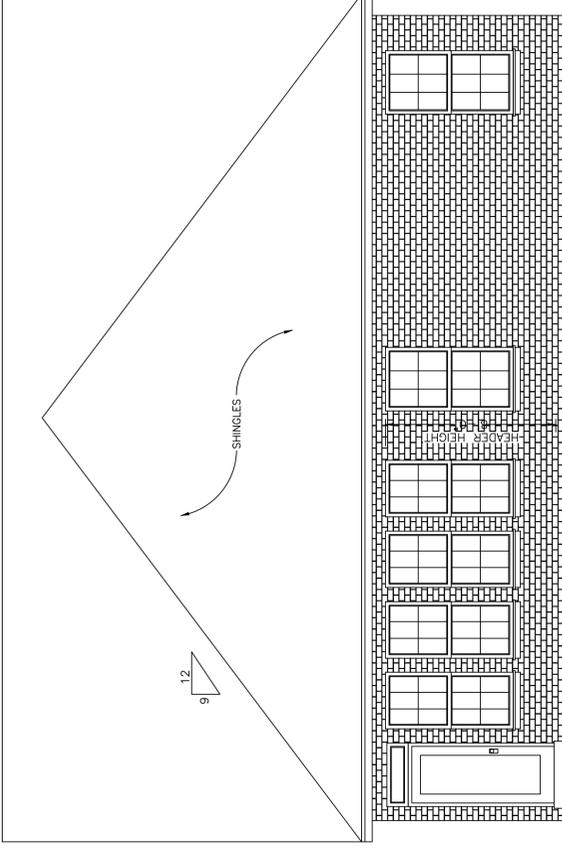


The BRISTLECONE
 OPTIONAL SECOND FLOOR PLAN

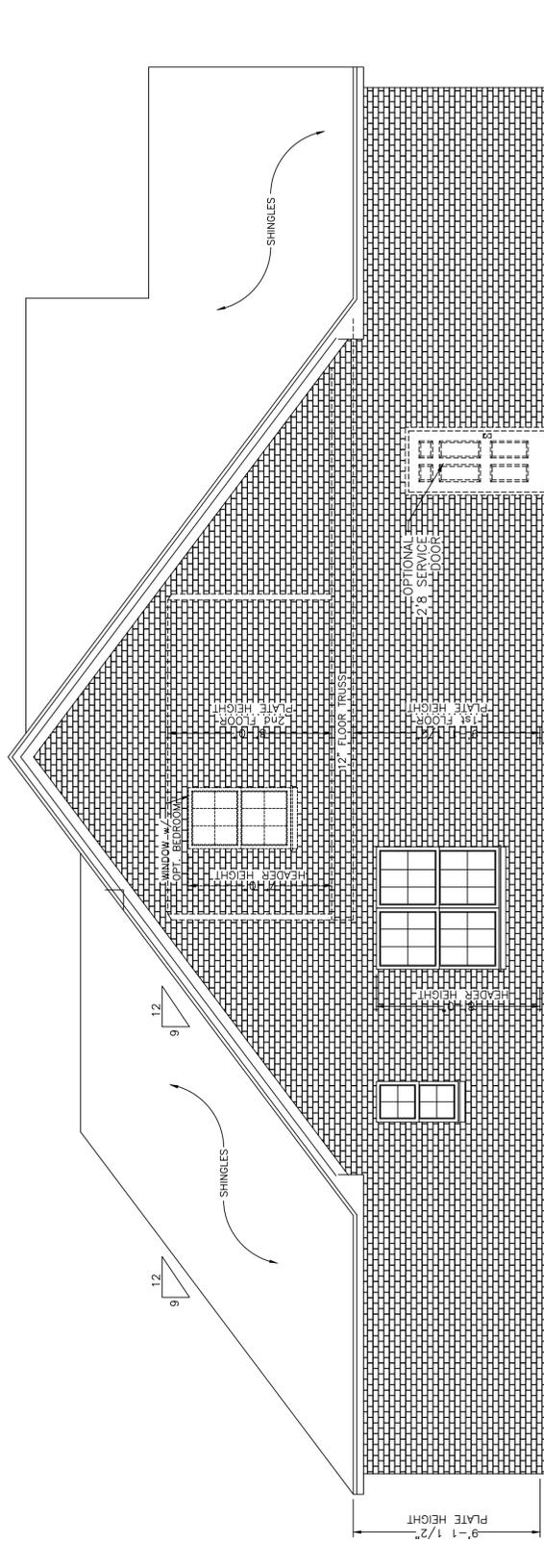
SCALE: 1/4" = 1'-0"



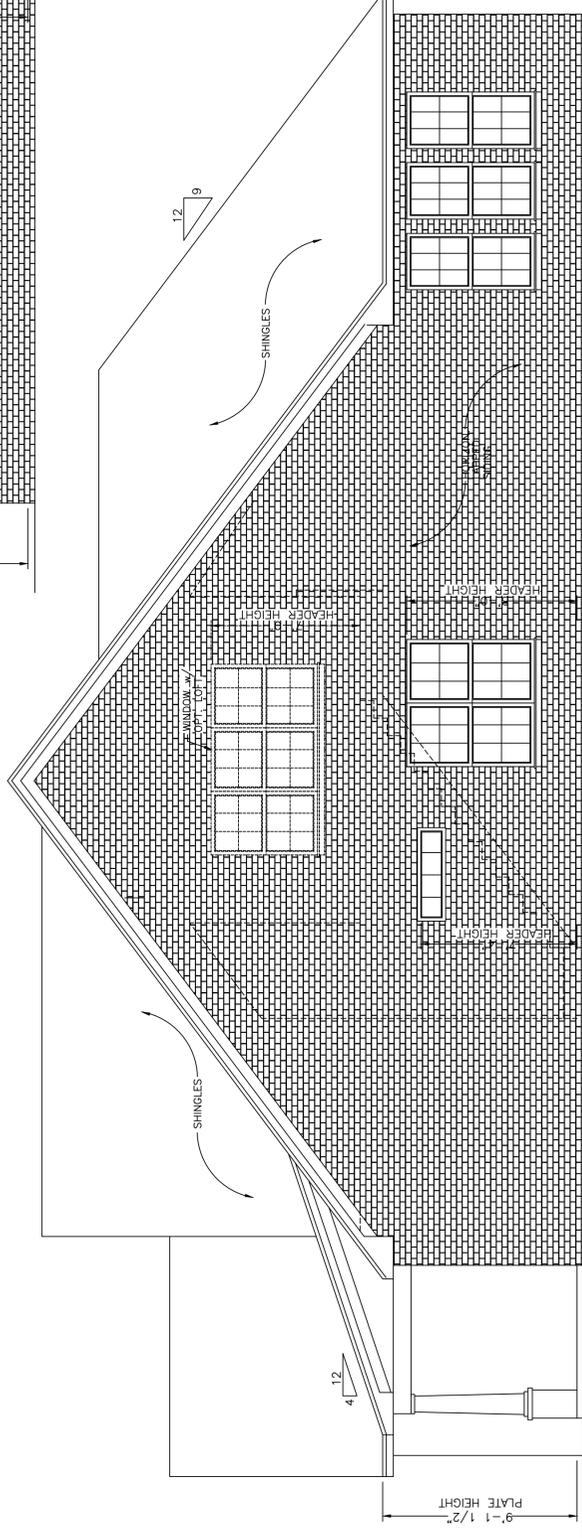
**The BRISTLECONE
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

1/4" = 1'-0"

The BRISTLECONE - ELEVATIONS
LEFT-HAND GARAGE

No.	Revision/Issue	Date

H&H HOMES
JAMIE GODWIN
VP of Operations / Regional Manager
2918 Breesewood Avenue
Fayetteville, NC 28311
910.484.8884 office
910.484.8884 cell
910.484.0463 fax



Sheet	
Project The BRISTLECONE	A3
Date 12/3	
Scale 1/4" = 1'-0"	

General Notes
Drawings, specifications and related items are not meant to be a contract. The client's right is conditional and limited to the use of a single project on the specific property as stated herein. Plans may not be altered or given effect at any time. Although every reasonable effort has been made to comply with the client's specifications and local building codes in order to meet the client's requirements, the designer has prepared these plans to the best of his knowledge, the designer has prepared these plans in accordance with the client's specifications and local building codes. The designer will not be liable for human error or other construction begins.
To the best of his knowledge, the designer has prepared these plans in accordance with the client's specifications and local building codes. The designer will not be liable for human error or other construction begins.
The designer shall retain the right to make changes to the drawings, specifications, details, and materials, the contractor and/or client shall be responsible for any changes. The designer shall be responsible for any changes to the drawings, specifications, details, and materials, the contractor and/or client shall be responsible for any changes.
The designer shall retain the right to make changes to the drawings, specifications, details, and materials, the contractor and/or client shall be responsible for any changes. The designer shall be responsible for any changes to the drawings, specifications, details, and materials, the contractor and/or client shall be responsible for any changes.

REZONING COMMUNITY MEETING REPORT (AFTERNOON)

Applicant: Blake Communities VP2-SC, LLC

Rezoning Petition No. CZ 2015-005

This Community Meeting Report is being filed with the Town of Indian Trail Planning and Neighborhood Services Department for the Waxhaw Indian Trail Road rezoning project. Separate reports are being filed for the daytime and evening meetings (if required).

DATE, TIME AND LOCATION OF MEETING:

The Community Meeting was held on Wednesday, January 27, 2016 from 3:00PM-5:00PM at Union West Regional Library, 123 Unionville-Indian Trail Road, Indian Trail, NC 28079

MEETING NOTIFICATION:

A representative of the Town of Indian Trail mailed written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on January 13, 2016.

PERSONS IN ATTENDANCE AT MEETING (see attached copy of sign-in sheets):

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit B. The Applicant was represented at the Community Meeting by Eric Swanson, Kerry Avant, and Matthew Velkovich. Ms. Gretchen Coperine of the Town of Indian Trail Planning and Neighborhood Services Department represented the Town at the meeting.

SUMMARY OF PRESENTATION/DISCUSSION:

The Applicant's agent, Eric Swanson, welcomed the attendees and introduced the Applicant's team. Mr. Swanson indicated that the Applicant proposed to rezone an approximately 16 acres at 2323 Waxhaw-Indian Trail Road from the SF-1 to SF-5. Mr. Swanson explained the rezoning process in general and stated that the purpose of the meeting was to discuss the rezoning request and the conditional site plan and respond to questions and concerns from nearby residents and property owners.

Mr. Swanson then presented the site plan and pointed out various commitments made by the Applicant. Kerry Avant showed proposed architectural elevations and discussed the design of the proposed site. He used the elevations and renderings to explain the proposed homes that will be marketed.

Greg Vossekuil, 213 Edenshire Court asked about how drainage is being addressed. Mr. Velkovich explained that stormwater will be managed on-site and post-development peak rates of runoff will not exceed pre-development rates. Mr. Vossekuil stated that the Blanchard Circle project has increased the stormwater the runs adjacent to his lot. He also provided some background information about the storm drainage system that runs in front of his lot in Edenshire Court. Mr. Velkovich explained that without a full design, we could not fully address the problem at the Community Meeting. A commitment was made to go out on

site with Town Staff to review the problem so that a solution can be proposed (that meeting is scheduled for February 5, 2016 at 3:00 PM).

Respectfully submitted, this 3rd day of February, 2016



P.O. Box 2430
 Indian Trail, North Carolina 28079
 Telephone 704-821-5401
 PLANNING AND NEIGHBORHOOD SERVICES

NOTICE OF PUBLIC MEETINGS

Community meetings have been scheduled regarding a proposed Conditional Zoning Map Amendment located on Waxhaw Indian Trail Road (see location map on reverse side). **You are receiving this notification because you own property within the project notification area.** You are invited to attend the following community meetings. The same information is presented at each meeting.

CASE: CZ 2015-005	
Meeting Information	<ul style="list-style-type: none"> • January 27, 2016- 3p.m. to 5p.m.-Union West Regional Library (123 Unionville Indian Trail Rd), Indian Trail, NC 28079 • January 27, 2016- 6p.m. to 8p.m.-Indian Trail Civic Building(100 Navajo Trail) Indian Trail, NC 28079
Subject Property Location	The rezoning request is for a 16 acre site (approximate) located on the east side of Waxhaw Indian Trail Rd, north of Blanchard Circle (Parcels: 07117010, 07117010A, 07117010B and 07117010C). See location map on reverse side.
Proposed Zoning	CZ-SF-5 (CZ2015-005 Waxhaw Indian Trail Rd). This zoning designation is primarily intended for the development of single family residential uses.
Existing Zoning	SF-1 (Single family)
Intent	The intent of the proposed zoning map amendment is to support development of approximately 49 single-family dwellings targeted as senior housing.
Applicant	Black Communities VP2-SC, LLC

What is a Conditional Zoning Map Amendment or Conditional Rezoning?

The zoning district for a property designates the type of uses permitted on a property (i.e. residential, commercial, industrial, etc.) and certain development standards. A Zoning Map Amendment is the process to change the zoning district for a property such as from a residential district to a commercial district. In the Conditional Rezoning process, a site specific Concept Plan is made part of the formal approval and conditions are placed on the rezoning. The Indian Trail Planning Board reviews Zoning Map Amendment applications and provides a recommendation to the Indian Trail Town Council who makes the final decision in a public hearing. Substantial change in the proposed amendment may be made following the public hearing.

The documentation on the proposed changes will be available from 9:00 a.m. until 5:00 p.m., Monday-Friday at the Indian Trail Administrative Services Building at 130 Blythe Drive, Indian Trail, NC 28079. You may also go to the Town's website at www.indiantrail.org for more information on this meeting, or contact Gretchen Coperine at (704) 821-5401 or gcoperine@planning.indiantrail.org. The proposed application and conceptual plan in no way has been endorsed or approved by the Town of Indian Trail.

Direct Link to Rezoning Project File on Town of Indian Trail Website:

<http://indiantrail.org/planlog1.php?id=450&type=15>

LOCATION MAP



REZONING COMMUNITY MEETING REPORT (EVENING)

Applicant: Blake Communities VP2-SC, LLC

Rezoning Petition No. CZ 2015-005

This Community Meeting Report is being filed with the Town of Indian Trail Planning and Neighborhood Services Department for the Waxhaw Indian Trail Road rezoning project. Separate reports are being filed for the daytime and evening meetings (if required).

DATE, TIME AND LOCATION OF MEETING:

The Community Meeting was held on Wednesday, January 27, 2016 from 6:00PM-8:00PM at Indian Trail Civic Building, 100 Najo Trail, Indian Trail, NC 28079

MEETING NOTIFICATION:

A representative of the Town of Indian Trail mailed written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on January 13, 2016.

PERSONS IN ATTENDANCE AT MEETING (see attached copy of sign-in sheets):

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit B. The Applicant was represented at the Community Meeting by Eric Swanson and Matthew Velkovich. Ms. Gretchen Coperine of the Town of Indian Trail Planning and Neighborhood Services Department represented the Town at the meeting.

SUMMARY OF PRESENTATION/DISCUSSION:

The Applicant's agent, Eric Swanson, welcomed the attendees and introduced the Applicant's team. Mr. Swanson indicated that the Applicant proposed to rezone an approximately 16 acres at 2323 Waxhaw-Indian Trail Road from the SF-1 to SF-5. Mr. Swanson explained the rezoning process in general and stated that the purpose of the meeting was to discuss the rezoning request and the conditional site plan and respond to questions and concerns from nearby residents and property owners.

Mr. Swanson then presented the site plan and pointed out various commitments made by the Applicant. Mr. Swanson showed proposed architectural elevations and discussed the design of the proposed site. He used the elevations and renderings to explain the proposed homes that will be marketed.

Mr. Bob Babb, 209 Edenshire Court asked about how drainage is being addressed. Mr. Velkovich explained that this issue was brought up during the afternoon session and that he would be invited to an on-site meeting with Town Staff (that meeting is scheduled for February 5, 2016 at 3:00 PM).

Others in attendance reviewed the plans and renderings. They offered no other comments or questions.

Respectfully submitted, this 3rd day of February, 2016



P.O. Box 2430
 Indian Trail, North Carolina 28079
 Telephone 704-821-5401
 PLANNING AND NEIGHBORHOOD SERVICES

NOTICE OF PUBLIC MEETINGS

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Applicant	Black Communities VP2-SC, LLC

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The documentation on the proposed changes will be available from 9:00 a.m. until 5:00 p.m., Monday-Friday at the Indian Trail Administrative Services Building at 130 Blythe Drive, Indian Trail, NC 28079. You may also go to the Town's website at www.indiantrail.org for more information on this meeting, or contact Gretchen Coperine at (704) 821-5401 or gcoperine@planning.indiantrail.org. The proposed application and conceptual plan in no way has been endorsed or approved by the Town of Indian Trail.

