



**P.O. Box 2430**  
**Indian Trail, North Carolina 28079**  
**Telephone (704) 821-5401**  
**Fax (704) 821-9045**

**PLANNING AND NEIGHBORHOOD SERVICES**

**Planning Board Transmittal for the March 22, 2016 Town Council Public Hearing**

<b>Case: CZ 2015-005</b>			
<b>Reference Name</b>	<b>Waxhaw Indian Trail Road Conditional Zoning</b>		
<b>Planning Board Meeting Date</b>	February 16, 2016		
<b>Members Present</b>	Chair Cowan <input checked="" type="checkbox"/>	Jan Brown <input checked="" type="checkbox"/>	Vice Chair Larry Miller <input checked="" type="checkbox"/>
	Cathi Higgins <input checked="" type="checkbox"/>	Sidney Sandy <input checked="" type="checkbox"/>	Alan Rosenberg <input type="checkbox"/>
	Jorge Aponte <input type="checkbox"/> Alternate 1	Vacant <input type="checkbox"/> Alternate 2	VACANT <input type="checkbox"/> Alternate 3
<b>Case Found Complete</b>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
<b>Motion</b>	Recommend approval as conditioned to Town Council		
<b>Member Making the Motion</b>	Board Member Cathi Higgins		
<b>Second the Motion</b>	Board Member Sidney Sandy		
<b>Vote</b>	5 to 0		

**Purpose of the Amendment:**

This is a request to reclassify various parcels totaling approximately 16 acres. The rezoning is from Single Family (SF-1) to Single-Family (SF-5) with a conditional zoning district. The SF-5 zoning district is a moderate/high density single-family residential zoning district. The intent of this request is to allow approximately 49 single-family dwelling units intended to be age-targeted housing for persons 55 years and older. The subject property is located on Waxhaw Indian Trail Road, north of Blanchard Circle. (See Planning Board Attachment 1, Application).

**Town Council Action:** *Receive the Planning Board transmittal report and public testimony and:*

1. *Concur with the findings and transmittal of the Planning Board to approve; or*
2. *Concur with the findings and approve as modified by Council; or*
3. *Do not make the findings and disapprove the amendment.*

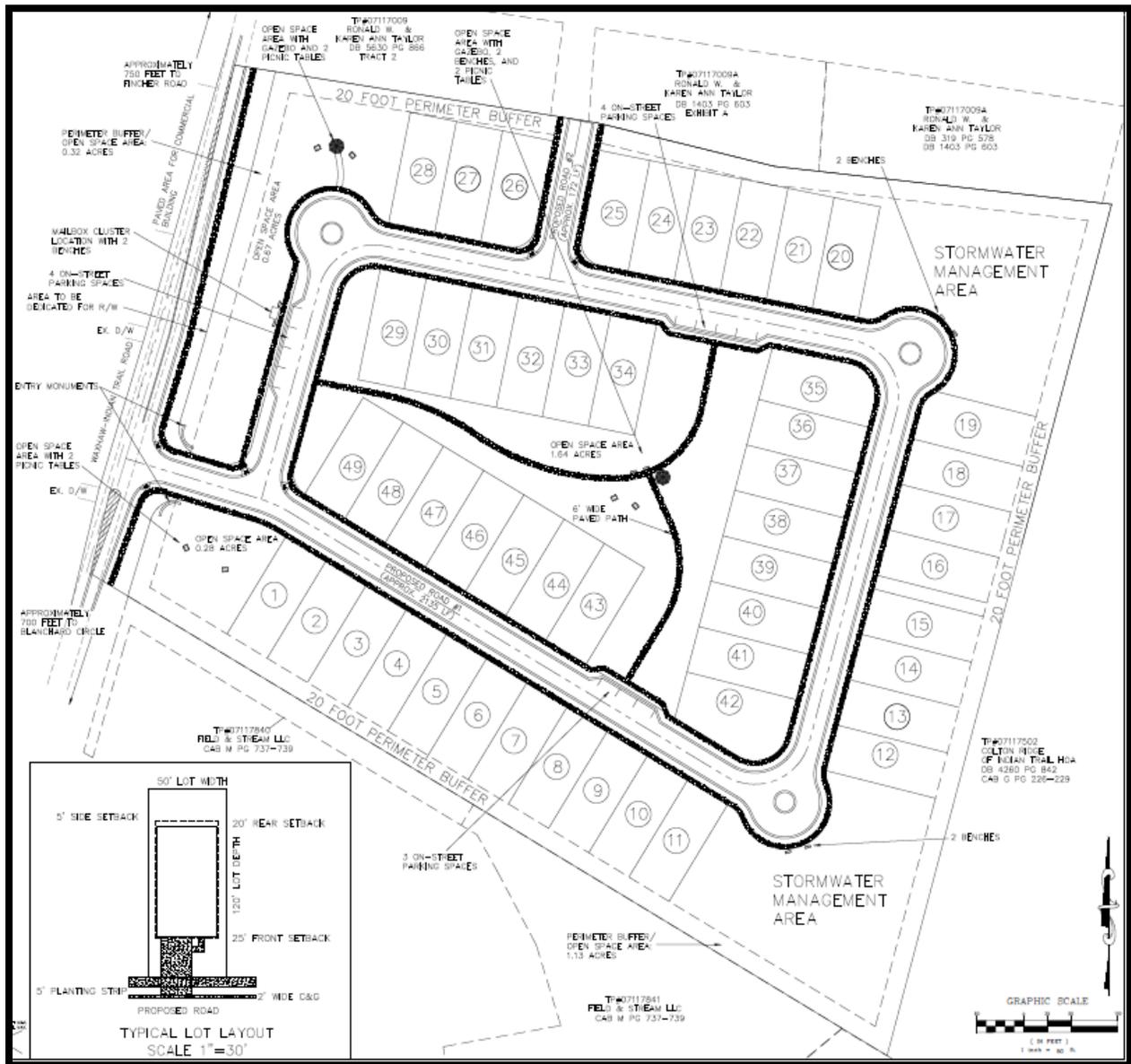
## Proposed Development

The Waxhaw Indian Trail Road proposal contemplates approximately 49 single-family detached units, intended to be age-targeted (i.e., marketed toward a population 55 years or older). The homes will be consistent with the existing architecture in the area. They will include a mixture of brick, stone and wood, decorative architectural details, a 2 car garage and two car driveway, and will provide age-targeted designs such as master bedrooms on the first floor.

The Concept Plan will provide one entrance into the community, detention ponds with amenities along the rear of the community, a 20 foot perimeter buffer, a large passive recreation area at the center of the development, connecting sidewalks throughout the entire community, as well as on-street parking in key locations.

The conceptual site plan is provided below and within Attachment 2 of this report.

## CONCEPTUAL SITE PLAN



## **Planning Board Meeting**

This request was heard by the Indian Trail Planning Board on February 16, 2016. The Board had questions regarding the lot sizes, sidewalk widths, mail kiosks, and interior roadway width in relation to Fire safety. The meeting can be heard on [Granicus](#) and be reviewed in the attached Draft Planning Board Meeting Minutes (Attachment 3).

The Planning Board voted 5 to 0 to transmit a recommendation to approve as conditioned to the Town Council and made the following required findings: The project as conditioned is consistent with the goals of the Comprehensive Plan are satisfied as follows:

- *Land Use and Housing Goals #1, 2 and 5:* The proposed project promotes compatibility of land uses between neighboring properties and residential properties within surrounding jurisdictions, increases the diversity of housing options within Indian Trail, and proposes high quality design to promote attractive land development; and
- *Mobility and Transportation Goal #3:* The proposed development incorporates pedestrian amenities and connectivity throughout the community, as well as opportunity to connect to any future development directly north of this development.

The request for this conditional zoning district (SF-5 District) is a reasonable request and is in the public interest because supports the goals of the adopted Comprehensive Plan and includes elements that benefit the general public in the areas of transportation, land use and housing.

**Town Council Action** - Based on the transmittal, public testimony, and deliberations, the Council may take one of the following actions:

1. *Concur with the findings and transmittal of the Planning Board to approve; or*
2. *Concur with the findings and approve as modified by Council; or*
3. *Do not make the findings and disapprove the amendment.*

Gretchen Coperine, AICP  
704 821-5401  
[gcoperine@planning.indiantrail.org](mailto:gcoperine@planning.indiantrail.org)

Attachment -1- Planning Board Report and PB Attachments  
Attachment- 2 – Draft Ordinance with Exhibits  
Attachment 3- Draft PB Meeting Minutes

**TC Attachment 1- Planning Board Report**



P.O. Box 2430

Indian Trail, North Carolina 28079

PLANNING AND NEIGHBORHOOD SERVICES DEPARTMENT

### Conditional Zoning Staff Report

<b>Case: CZ 2015-005</b>			
<b>Reference Name</b>	Waxhaw Indian Trail Senior Concept Housing		
<b>Request</b>	Proposed Zoning	CZ Single-Family Residential (SF-5)	
	Proposed Uses	Single-Family Residential	
<b>Existing Site Characteristics</b>	Existing Zoning	Single Family (SF-1)	
	Existing Use	Single Family Home	
	Site Acreage	Approximately 16 Acres	
<b>Applicant</b>	Blake Communities VP2-SC, LLC		
<b>Submittal Date</b>	September 19, 2015		
<b>Location</b>	Waxhaw Indian Trail Road, north of Blanchard Circle		
<b>Tax Map Number(s)</b>	Rezoning: 07117010, 07117010A, 07117010B and 07117010C		
<b>Plan Consistency</b>	Comprehensive Plan		
<b>Recommendations &amp; Comments</b>	Planning Staff	Designation	Old Monroe, Medium Density Residential
		Consistent with Request	Yes

#### Project Summary

This is a request to reclassify various parcels totaling approximately 16 acres. The rezoning is from Single Family (SF-1) to Single-Family (SF-5) with a conditional zoning district. The SF-5 zoning district is a moderate/high density single-family residential zoning district. The intent of this request is to allow approximately 49 single-family dwelling units intended to be age-targeted housing for persons 55 years and older. The subject property is located on Waxhaw Indian Trail Road, north of Blanchard Circle. (See Attachment 1, Application and Map 1 below).

#### Staff Recommendation

Staff is of the opinion the necessary findings can be made to support this Conditional Zoning request.

## Map 1: Location Map and Municipal Boundary



### **Staff Analysis**

#### ***Current Use and Zoning***

The subject property consists of several parcels on Waxhaw Indian Trail Road, north of Blanchard Circle. There is an existing single family home which will be demolished.

#### ***Location Characteristics and Surrounding Zoning***

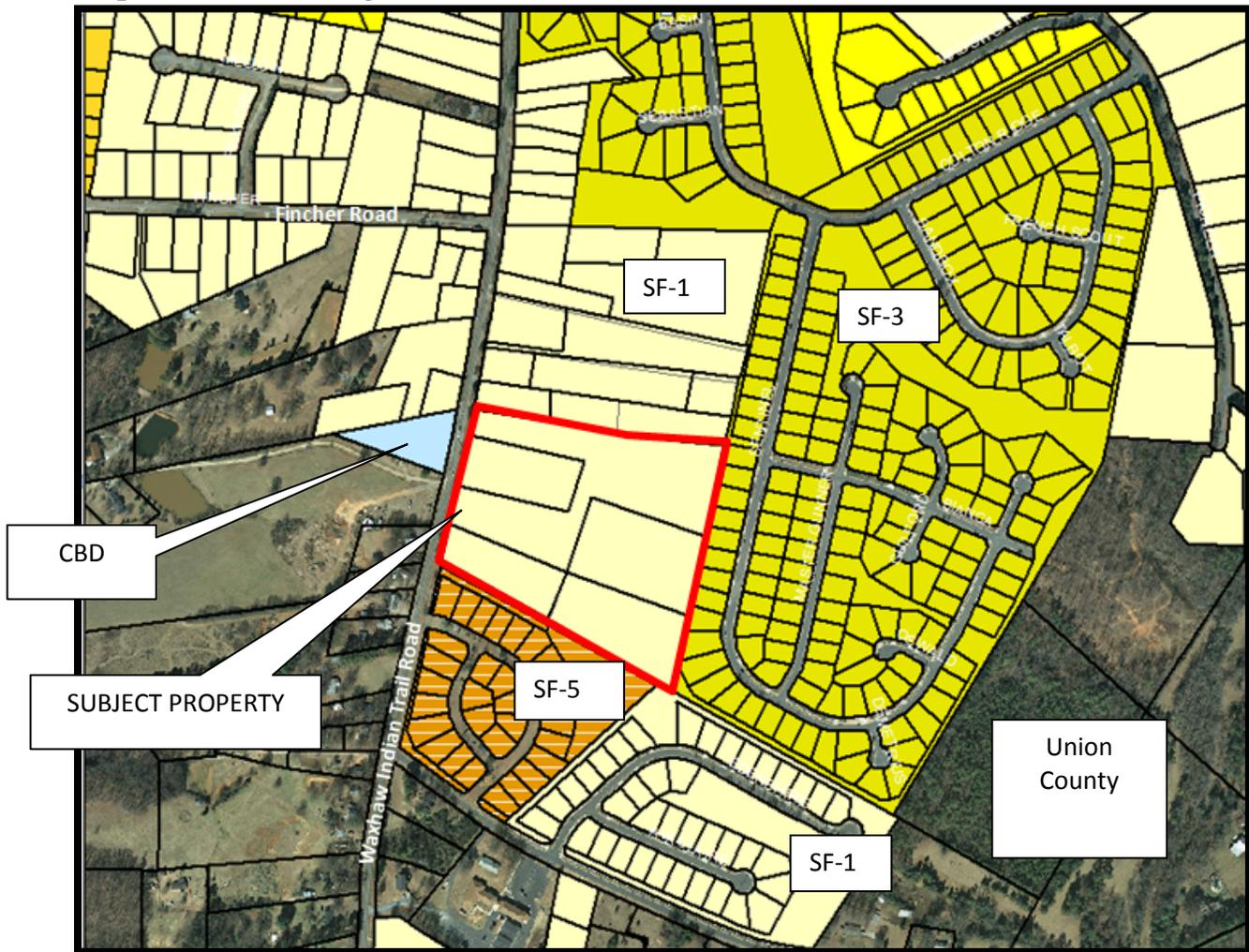
The property is currently zoned Single Family (SF-1). See below Map 2: Current Zoning. The current zoning for the surrounding area is single family residential, with one parcel containing a local business (Gators Deli). See table below summarizing the surrounding zoning and uses.

The surrounding development consists of single-family residential to the north, south, east and west including Colton Ridge, Satterfield and Arbors at Blanchard subdivisions, as well as Gator's Deli, a local business.

### Summary of Surrounding Zoning and Uses

Surrounding Subject Property	Municipality	Zoning	Use
North	Town of Indian Trail	Single Family (SF-1)	Single Family homes
East	Town of Indian Trail	Single Family (SF-3)	Single Family Subdivision: Colton Ridge
South	Town of Indian Trail	Single Family (SF-1) Special Use Permit	Single Family Subdivision: Satterfield
South	Town of Indian Trail	Single-Family (SF-5) Conditional Zoning	Single Family Subdivision: Arbors at Blanchard
West	Town of Indian Trail; Union County	Central Business District (CBD); Residential (R-20)	Gator's Deli; Single Family homes

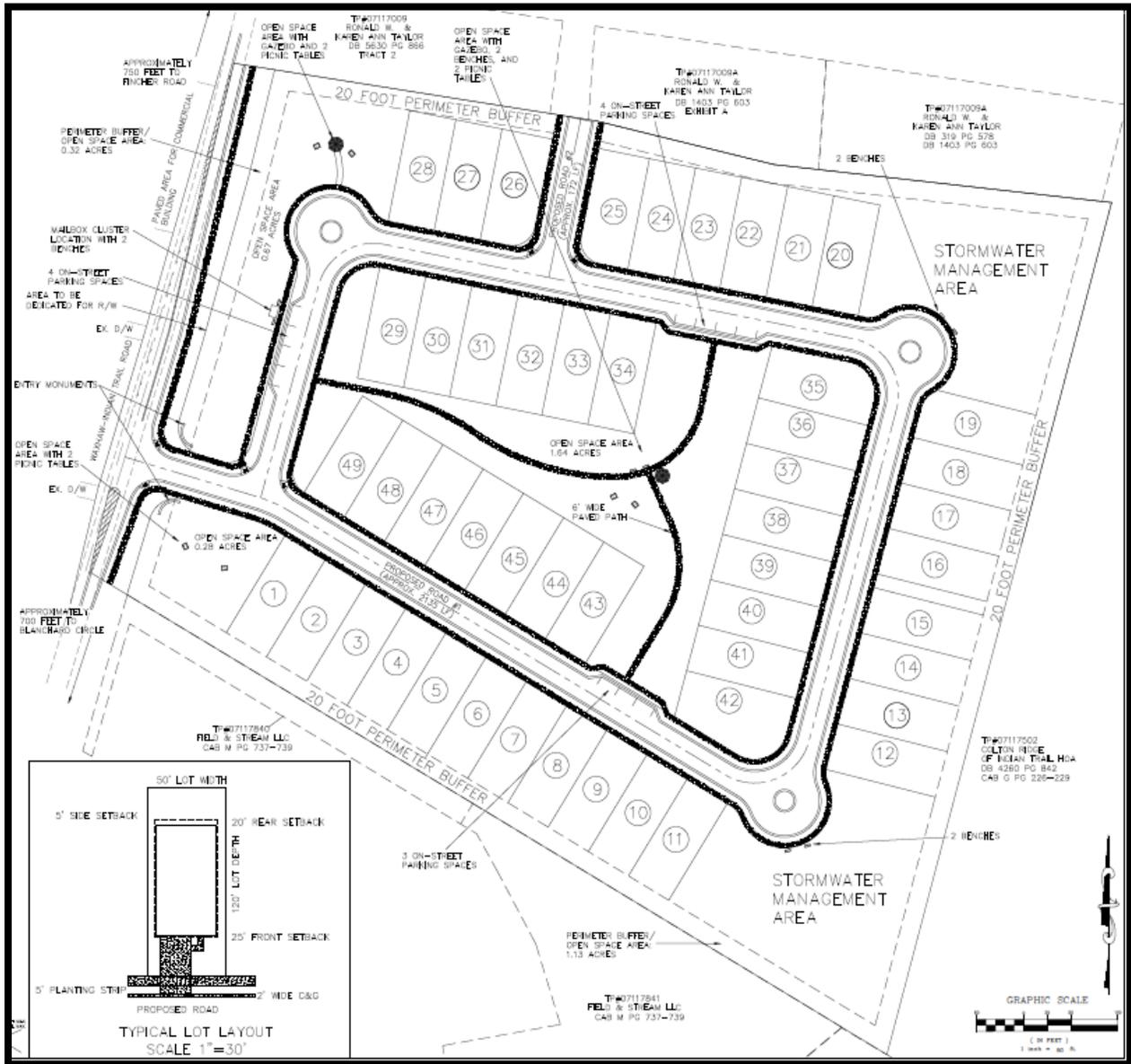
**Map 2: Current Zoning**



### Concept Plan

The Conceptual Plan, included in Attachment 2 (also, see below Map 3: Concept Plan) reflects development of approximately 49 single-family detached homes intended to be age-targeted for a 55+ community. The following will provide a brief overview of key elements of the Concept Plan.

### Map 3: Concept Plan



### Senior Housing Concept – Age-Targeted

The proposed development will be age-targeted to persons 55 years of age or older. The age-targeted concept does not require any restrictive covenants to be recorded limiting the potential residents to those who are over the age of 55. Instead, it is designed and developed to attract a resident of a certain age category. Such features include but are not limited to single-level living or master bedrooms on the same floor as the living space (i.e., the first floor), slab-on-grade construction to facilitate the use of wheel chairs or other mobility devices if needed, wider door openings to accommodate medical/mobility or other devices, and maintenance-free living.

*Site Layout:* The Concept Plan contemplates approximately 49 lots, detention ponds with amenities, common open space areas, on-street parking in key location as well as connecting sidewalks throughout the entire community and an opportunity for future connection to any development directly north of the subject site.

*Onsite Roadway Improvements:* Access within the site will be provided by a minimum of 50-ft wide Rights-of-Way (ROW) that will be designed with curb/gutter, sidewalks, street lights and street trees. The UDO permits a single access point for subdivisions with less than 50-lots.

*Roadway and Frontage Improvements:* The community will have one access point off Waxhaw Indian Trail Road. North Carolina Department of Transportation (NCDOT) will require the appropriate roadway improvements (i.e., left turn lane and stacking distances) to be provided in order to ensure appropriate access into and out of the development.

In addition, the Waxhaw Indian Trail Road frontage will be improved with curb/gutter, a 6 foot sidewalk, street trees and street lights.

*Open Space and Tree Retention:* Approximately 2.3 acres of open space will be provided within the community. All open space areas will contain a combination of ornamental landscaping including trees and shrubs, as well as passive recreation fixtures where feasible. See Attachment 2.

*Architectural Design:* All homes will be built in general accordance with the elevations in the draft Ordinance (Attachment 2) and will provide the Master bedrooms on the first floor to support the age-targeted marketing concept.

*Lot Frontage, Setbacks and Height:* Lots shall provide 50' width, as generally referenced on the concept plan (Attachment 2). Setbacks and other requirements shall be provided as follows:

<b>Lot Width</b>	<b>Lot Area Minimum</b>	<b>Front and Rear Setback</b>	<b>Side Setback</b>	<b>Maximum Height</b>
50 foot minimum	6000 square feet minimum	25 feet Front *(see note regarding Garage placement below) 20 feet Rear	5 feet on interior lots 10 feet on corner lots	35 feet maximum
* <b>Garage:</b> may be a maximum of 2 feet in front of the front façade or porch, if one exists.				

***Community Meetings***

The applicant held two community meetings as required by UDO Section 330.020. The purpose of the meetings is to solicit comments and concerns from surrounding property owners. Notices for the community meetings consisted of advertising in the newspaper, and sending first class mailed notices to the owners of surrounding properties and Homeowners Associations within 500 feet of the project site. The first community meeting was held at Union West Regional Library on January 27, 2016 from 3pm-5pm and the second was held at the Town’s Civic Building from 6pm-8pm that same day. See Attachment 3 for meeting minutes and public comments. The following will provide a brief summary of the Town required community meetings.

- *3pm-5pm Meeting:* This meeting was attended by 2 members of the public, the applicant’s team, and Town staff. General questions were raised regarding flooding concerns.

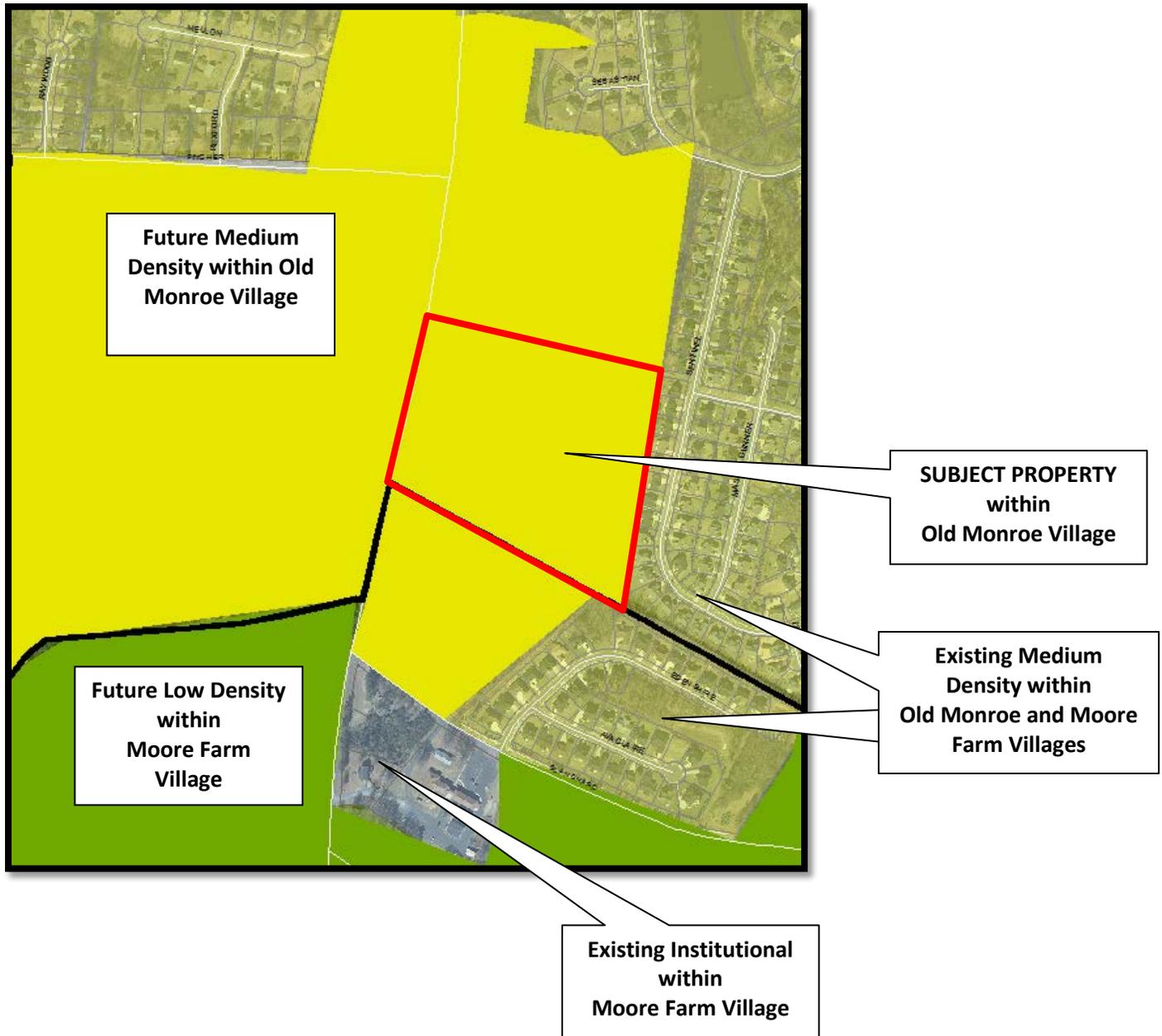
- *6pm-8pm Meeting:* There were approximately 2 members of the public in attendance in addition to the applicant's team and Town staff. General questions were raised regarding flooding concerns. See Attachment 3 for Meeting Notes.

In response to the concerns raised at the community meeting, Town Planning and Engineering staff visited the subject site and adjacent property owner(s). At the conclusion of the site visit, the applicant agreed to design the stormwater management areas in a manner that would help minimize drainage impacts to neighboring properties. A condition of approval has been included with regard to the design of the stormwater management areas.

### ***Comprehensive Plan***

The Indian Trail Comprehensive Plan organizes the Town into a series of interconnected villages which not only helps create a well managed growth and community development pattern, but also provides meaningful identity for Indian Trail residents. The subject property is located within Old Monroe Village of the Comprehensive Plan. See Map 4 below. This Village is intended to consist of predominantly medium to low density residential. The proposed future land use of the subject property is Medium Density Residential, which allows 2 – 4 dwelling units per acre. The proposed 49 units development on approximately 16 acres has an approximate density of 3.0 dwelling units per acre, which is consistent with the future land use map. Staff is of the opinion that the proposal is consistent with the goals of the Comprehensive Plan.

## Map 4: Future Land Use Map



### *Draft Conditions*

See the attached draft Ordinance with the recommended Conditions of Approval.

### **Comments from Outside Agencies**

- *North Carolina Department of Transportation (NCDOT):* NCDOT has provided the following comments:
  - Provide a left-turn lane, with 100 foot stacking on Waxhaw Indian Trail Road.
- *Union County Public Works (UCPW):* Pending final sketch plan approval.
- *Union County Public Schools (UCPS):* The proposed 49 sfu subdivision would be in the following school attendance areas for the 2015-2016 school year:

**Indian Trail Elementary School  
Sun Valley Middle School  
Sun Valley High School**

Both Indian Trail ES and Sun Valley MS are expected to remain below watch and cap levels for the foreseeable future. However, Sun Valley HS is expected to exceed its watch level in 2017. Additional residential construction can accelerate this approach and possibly force a capping situation. Prior to reaching a cap, high enrollments contribute to problems such as additional mobile classrooms, inadequate capacity for food service and restroom facilities, rationing of access to the media center, insufficient parking and queuing space for parents to safely deliver or pick up their children, and inadequate planning/meeting space for additional staff.

- *Union County Fire Marshal (UCFM)*: No comments at this time.
- *Union County Sheriff*: Comments regarding ensuring driveway depths were adequate to accommodate a car or truck parked without obstructing the sidewalk.

### **Action Required**

The Planning Board must adopt a statement of consistency and reasonableness prior to making a motion for recommendation. The finding must be made that the proposed amendment is both reasonable and consistent with the Comprehensive Plan. Staff is of the opinion the goals of the Comprehensive Plan are satisfied as follows:

- *Land Use and Housing Goals #1, 2 and 5*: The proposed project promotes compatibility of land uses between neighboring properties and residential properties within surrounding jurisdictions, increases the diversity of housing options within Indian Trail, and proposes high quality design to promote attractive land development; and
- *Mobility and Transportation Goal #3*: The proposed development incorporates pedestrian amenities and connectivity throughout the community, as well as opportunity to connect to any future development directly north of this development.

The request for this conditional zoning district (SF-5 District) is a reasonable request and is in the public interest because supports the goals of the adopted Comprehensive Plan and includes elements that benefit the general public in the areas of transportation, land use and housing.

### **Recommendation**

Staff is of the opinion that the findings can be made to support a conditional zoning district for the subject property. The proposed conditional rezone is consistent with the Town's Comprehensive Plan.

**Attachment 1** – Application

**Attachment 2** – Draft Ordinance with attached Exhibits

**Attachment 3** – Community Meeting Minutes and Public Comments

### **Staff Contact**

Gretchen Coperine, AICP

704 821-5401

[gcoperine@planning.indiantrail.org](mailto:gcoperine@planning.indiantrail.org)

**PB Attachment 1- Application**

R-000639

Inv 25628

C22015-005

# CONDITIONAL ZONING APPLICATION



## PLANNING AND NEIGHBORHOOD SERVICES

PO Box 2430

Indian Trail, NC 28079

Telephone (704) 821-5401

Fax (704) 821-9045

*149 adjac properties*

## ONLY COMPLETE APPLICATIONS ACCEPTED

Processing Fee: <2 acres \$400, 2-10 acres \$800, >10 acres \$1,500, Minor Modification \$250

Engineering Fees: <2 acres \$100, 2-10 acres \$175, >10 acres \$250

Notification Fee \$2.50 per adjoining property owner

**\*\*A TECHNOLOGY FEE, 10% OF ALL ASSOCIATED FEES, WILL BE APPLIED TO THE TOTAL FEE.\*\***

Date Received \_\_\_\_\_

09-21-15 09:01 AM

# CONDITIONAL ZONING APPLICATION

## Submittal Requirements

- Completed Application
- Notarized signatures of applicant and property owner
- Letter of Intent
- 5 copies of Concept Plan (must be drawn to scale by architect, landscape architect, professional surveyor, or engineer licensed in North Carolina)
- Boundary Survey (acreage, current zoning, location of existing buildings, setbacks)
- List, address labels, and digital copy of all adjoining property owners within 500 feet of subject parcel
- Traffic Impact Analysis, if necessary
- Statement of Appraisal, if necessary
- Fees associated with review
- **\*\*A TECHNOLOGY FEE, 10% OF ALL ASSOCIATED FEES, WILL BE APPLIED TO THE TOTAL FEE.**

## General Information

Project Address 2323 Waxhaw-Indian Trail Road

City Indian Trail State NC Zip 28079

Tax Parcel ID 07117010 (A,B,C) Zoning Designation SF-1 (CURRENT)

Total Acres 15.90 Impervious Area TBD

Project Description PROJECT WILL CONTAIN XX LOTS

## Contact Information – Applicant

Name Blake Communities VP2-SC, LLC Attn: Brandon Morrissey or Christian Ross

Address Post Office Drawer 7598

City St. Petersburg State FL Zip 33764

Phone 727-498-3330 Fax \_\_\_\_\_

Email bmorrissey@bwtcompany.com cross@bwtcompany.com

## Contact Information – Property Owner

Name SHELBY, PATRICIA R, ET AL PARCELS 07117010A, 07117010B, 07117010C

Address 2323 WAXHAW-INDIAN TRAIL ROAD

City INDIAN TRAIL State NC Zip 28079

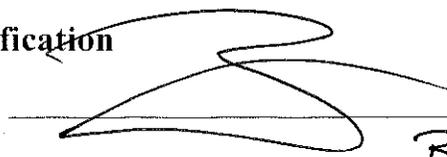
Phone \_\_\_\_\_ Fax \_\_\_\_\_ PROPERTY OWNER PARCEL 07117010

Email PATSYSHELBY@YAHOO.COM DOVER, JERRY NORMAN  
P.O. BOX 460, ELGIN, SC 29045-0460  
DOVER.JERRY@ATT.NET

APPLICATION

**Applicant's Certification**

Signature



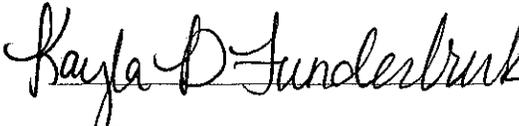
Date

9/3/2015

Printed Name/Title

BRANDON MORRISSEY

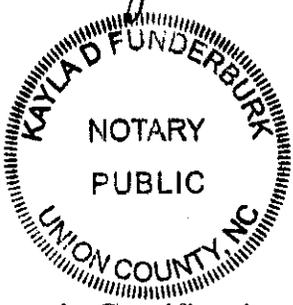
Signature of Notary Public



Date

9/3/15

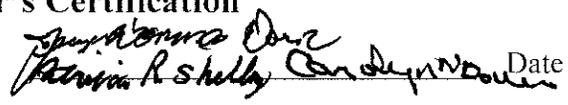
Notary Seal



Expires June 21, 2020

**Property Owner's Certification**

Signature



Date

9/3/15

Printed Name/Title

Jerry Norman Dover, Carolyn N. Dover, Patricia R. Shelby

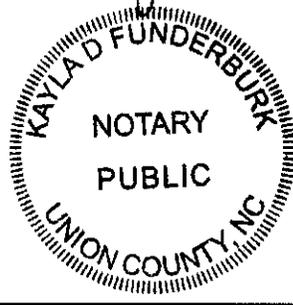
Signature of Notary Public



Date

9/3/15

Notary Seal



Expires June 21, 2020

**TOWN OF INDIAN TRAIL OFFICE USE ONLY**

Case Number: \_\_\_\_\_

Date Received: \_\_\_\_\_

Amount of Fee: \_\_\_\_\_

Received By: \_\_\_\_\_

Receipt #: \_\_\_\_\_



September 21, 2015

Mr. Rox Burhans  
Planning Director  
Town of Indian Trail  
Box 2430  
Indian Trail, NC 28079

Re: Rezoning Letter of Intent  
Parcels 07117010, 07117010A, 07117010B, 07117010C

Mr. Burhans:

On behalf of our client, Blake Communities VP2-SC, LLC, it is our pleasure to present this conditional zoning application for the parcels listed above.

The area of the conditional zoning is approximately 15.9 acres located along Waxhaw-Indian Trail Road. These parcels are currently zoned as single family residential (SF-1). Our proposal is to request a conditional zoning that would provide a moderate density residential use as outlined in the 2014 Comprehensive Plan. Enclosed with the package is a lot layout and sample architectural elevations for the housing proposed.

If you have any questions or need any additional information, please feel free to contact me at your convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew G. Velkovich".

Matthew G. Velkovich, P.E.  
Senior Civil Project Manager

09-21-15 P02:05 IN





WHEREAS, the Town Council concurred with the Planning Board’s consistency findings and hereby endorses said findings; and

**NOW, THEREFORE, IT SHALL BE ORDAINED** by the Town Council of the Town of Indian Trail, North Carolina that it hereby takes the following action:

**Section 1** – Approves CZ 2015-005 Conditional Zoning Petition thereby granting the Zoning Map amendment to establish Conditional Zoning District of SF-5 Single Family for the purpose developing approximately 49 single-family dwelling units and subject to the following conditions:

1. *Subject Parcels:* Rezoning – 07117010, 07117010A, 07117010B and 07117010C to CZ-SF-5.
2. *Permitted Uses:* The permitted use on the subject property is single-family detached residential and accessory uses as permitted the UDO.
3. *Permitted Number of Units:* The maximum number of units on the subject development shall not exceed 49 single-family detached dwelling units.
4. *Lot Frontage, Setbacks and Height:* Lots shall provide 50’ width, as generally referenced on the concept plan (Exhibit 1). Setbacks and other requirements shall be provided as follows:

<b>Lot Width</b>	<b>Lot Area Minimum</b>	<b>Front and Rear Setback</b>	<b>Side Setback</b>	<b>Maximum Height</b>
50 foot minimum	6000 square feet minimum	25 feet Front *(see note regarding Garage placement below) 20 feet Rear	5 feet on interior lots 10 feet on corner lots	35 feet maximum
* <b>Garage:</b> may be a maximum of 2 feet in front of the front façade or porch, if one exists.				

5. *Conceptual Plan:* The proposed single-family development and associated improvements shall comply with the conceptual plan attached herein as Exhibit 1.
  - a. *On-street parking:* on-street parking shall be provided at key locations as generally depicted on the Conceptual Plan.
  - b. *Open Space:* All open space areas shall be generally consistent with the layout reflected in Exhibit 1 and shall contain trees and shrubs, as well as passive recreation fixtures where feasible. The large central open space in the concept plan in Exhibit 1 within the community shall be landscaped with plant species which require low maintenance.
  - c. *Open Space Pathway:* The pathway shown within the large central open space in the concept plan in Exhibit 1 shall be a paved surface, to the satisfaction of the Town Engineering and Planning Departments.
6. *Architecture:*
  - a. All homes shall be built in general accordance with the elevations in Exhibit 2 and shall be constructed of brick, stone, wood, or shake siding with no vinyl or composite siding or synthetic stucco.

- b. *Vary elevations/architectural models on adjacent lots:* Every lot shall provide a different architectural model from the lot(s) adjacent to it. No two identical architectural elevations which include identical facades, roof lines, door and window placement and details, shall be built on lots adjacent to or directly across from each other.
  - c. Architectural details shall include ornamented garage doors, decorative light fixtures on either sides of the garage door, gable pediments, transoms above the front entry door, as generally depicted in Exhibit 2.
  - d. There shall be no blank walls on any side elevations.
  - e. All units shall provide the master bedroom located on the first floor to support the age-targeted marketing concept.
  - f. *Mailboxes:* A decorative cluster mailbox must be provided, as generally depicted in the conceptual plan.
7. *Tree Retention:* The development is conditioned to comply with Chapter 830- Tree Preservation Ordinance of the UDO. A Heritage tree survey and tree canopy plan is required within the site plan review process. All reasonable efforts will be made to retain the existing Heritage Trees on the site, however, it is recognized that several may need to be removed and mitigation will be undertaken in accordance with UDO Chapter 830(E) requirement.
8. *Perimeter Landscape Buffer:* A 20 foot perimeter landscape buffer shall be provided as generally depicted on the concept plan (Exhibit 1).
9. *Stormwater Management Measures:* The size of the proposed stormwater management facilities identified on the Conceptual Plan is for illustrative purposes only. The exact size shall be determined during Site Plan submittal, to meet 100-year storm requirements. Unless deemed infeasible by the Town Engineering Department, the water management facilities shall tie into the existing drop inlets along the eastern boundary (rear of the subject property) found between Lots 184 and 186, and between Lots 191 and 192 of Colton Ridge.

All detention ponds shall provide a dense vegetation screening. Fencing shall be provided around the stormwater management improvements to minimize any visual obtrusiveness, as well as amenities including but not limited to water fountains, gathering areas and/or similar passive recreation areas for residents.
10. *Waxhaw Indian Trail Road Roadway Improvements:* Prior to the issuance of Town Zoning Compliance for any home, the developer shall be responsible for constructing the ROW improvements listed below on Waxhaw Indian Trail Road:
  - A left-turn lane with 100 foot full stacking and, and in coordination with the design for Arbors at Blanchard roadway improvements.All required roadway improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home. All roadway improvements shall be constructed to the Town of Indian Trail and NCDOT standards.
11. *Frontage Improvements:* Frontage improvements along Waxhaw Indian Trail Road shall be provided and include a 6 foot sidewalk, and street lights and curb/gutter. A minimum ROW measured 50 feet from the center line of the existing road shall be provided and dedicated to NCDOT or its assigns. All required frontage improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home.

12. *Onsite Roadway Improvements:* Internal Roads within the subject site shall be constructed with a minimum of 50' right-of-way. Improvements shall consist of two travel lanes in opposite direction, curb/gutter, 5-ft wide sidewalks, street lights and street trees. Traffic calming features may be required throughout the development and may include a combination of raised intersections, pedestrian crossings, speed tables and/or other traffic calming mechanisms, as approved by the Town Engineering Department. All roadways shall be constructed in accordance with Town Engineering Standards.
13. *Sketch Plan Approval from Union County Public Works.*
14. *Revocation:* The Town Council may act to revoke the conditional zoning district designation if the applicant fails to meet the terms of the district.

**Section 2** – This ordinance shall be effective immediately upon adoption.

**AND IT IS SO ORDAINED** this \_\_ day of March, 2016.

**TOWN OF INDIAN TRAIL COUNCIL**

Attest:

---

Kelley Southward, Town Clerk

---

Michael Alvarez, Mayor

APPROVED AS TO FORM:

---

TOWN ATTORNEY



## **REZONING COMMUNITY MEETING REPORT (AFTERNOON)**

Applicant: Blake Communities VP2-SC, LLC

Rezoning Petition No. CZ 2015-005

This Community Meeting Report is being filed with the Town of Indian Trail Planning and Neighborhood Services Department for the Waxhaw Indian Trail Road rezoning project. Separate reports are being filed for the daytime and evening meetings (if required).

### **DATE, TIME AND LOCATION OF MEETING:**

The Community Meeting was held on Wednesday, January 27, 2016 from 3:00PM-5:00PM at Union West Regional Library, 123 Unionville-Indian Trail Road, Indian Trail, NC 28079

### **MEETING NOTIFICATION:**

A representative of the Town of Indian Trail mailed written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on January 13, 2016.

### **PERSONS IN ATTENDANCE AT MEETING** (see attached copy of sign-in sheets):

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit B. The Applicant was represented at the Community Meeting by Eric Swanson, Kerry Avant, and Matthew Velkovich. Ms. Gretchen Coperine of the Town of Indian Trail Planning and Neighborhood Services Department represented the Town at the meeting.

### **SUMMARY OF PRESENTATION/DISCUSSION:**

The Applicant's agent, Eric Swanson, welcomed the attendees and introduced the Applicant's team. Mr. Swanson indicated that the Applicant proposed to rezone an approximately 16 acres at 2323 Waxhaw-Indian Trail Road from the SF-1 to SF-5. Mr. Swanson explained the rezoning process in general and stated that the purpose of the meeting was to discuss the rezoning request and the conditional site plan and respond to questions and concerns from nearby residents and property owners.

Mr. Swanson then presented the site plan and pointed out various commitments made by the Applicant. Kerry Avant showed proposed architectural elevations and discussed the design of the proposed site. He used the elevations and renderings to explain the proposed homes that will be marketed.

Greg Vossekuil, 213 Edenshire Court asked about how drainage is being addressed. Mr. Velkovich explained that stormwater will be managed on-site and post-development peak rates of runoff will not exceed pre-development rates. Mr. Vossekuil stated that the Blanchard Circle project has increased the stormwater the runs adjacent to his lot. He also provided some background information about the storm drainage system that runs in front of his lot in Edenshire Court. Mr. Velkovich explained that without a full design, we could not fully address the problem at the Community Meeting. A commitment was made to go out on

site with Town Staff to review the problem so that a solution can be proposed (that meeting is scheduled for February 5, 2016 at 3:00 PM).

Respectfully submitted, this 3<sup>rd</sup> day of February, 2016



P.O. Box 2430  
 Indian Trail, North Carolina 28079  
 Telephone 704-821-5401  
 PLANNING AND NEIGHBORHOOD SERVICES

## NOTICE OF PUBLIC MEETINGS

Community meetings have been scheduled regarding a proposed Conditional Zoning Map Amendment located on Waxhaw Indian Trail Road (see location map on reverse side). **You are receiving this notification because you own property within the project notification area.** You are invited to attend the following community meetings. The same information is presented at each meeting.

<b>CASE: CZ 2015-005</b>	
<b>Meeting Information</b>	<ul style="list-style-type: none"> <li>• <b>January 27, 2016-</b> 3p.m. to 5p.m.-Union West Regional Library (123 Unionville Indian Trail Rd), Indian Trail, NC 28079</li> <li>• <b>January 27, 2016-</b> 6p.m. to 8p.m.-Indian Trail Civic Building(100 Navajo Trail) Indian Trail, NC 28079</li> </ul>
<b>Subject Property Location</b>	The rezoning request is for a 16 acre site (approximate) located on the east side of Waxhaw Indian Trail Rd, north of Blanchard Circle (Parcels: 07117010, 07117010A, 07117010B and 07117010C). See location map on reverse side.
<b>Proposed Zoning</b>	CZ-SF-5 (CZ2015-005 Waxhaw Indian Trail Rd). This zoning designation is primarily intended for the development of single family residential uses.
<b>Existing Zoning</b>	SF-1 (Single family)
<b>Intent</b>	The intent of the proposed zoning map amendment is to support development of approximately 49 single-family dwellings targeted as senior housing.
<b>Applicant</b>	Black Communities VP2-SC, LLC

### What is a Conditional Zoning Map Amendment or Conditional Rezoning?

The zoning district for a property designates the type of uses permitted on a property (i.e. residential, commercial, industrial, etc.) and certain development standards. A Zoning Map Amendment is the process to change the zoning district for a property such as from a residential district to a commercial district. In the Conditional Rezoning process, a site specific Concept Plan is made part of the formal approval and conditions are placed on the rezoning. The Indian Trail Planning Board reviews Zoning Map Amendment applications and provides a recommendation to the Indian Trail Town Council who makes the final decision in a public hearing. Substantial change in the proposed amendment may be made following the public hearing.

The documentation on the proposed changes will be available from 9:00 a.m. until 5:00 p.m., Monday-Friday at the Indian Trail Administrative Services Building at 130 Blythe Drive, Indian Trail, NC 28079. You may also go to the Town's website at [www.indiantrail.org](http://www.indiantrail.org) for more information on this meeting, or contact Gretchen Coperine at (704) 821-5401 or [gcoperine@planning.indiantrail.org](mailto:gcoperine@planning.indiantrail.org). The proposed application and conceptual plan in no way has been endorsed or approved by the Town of Indian Trail.

**Direct Link to Rezoning Project File on Town of Indian Trail Website:**

<http://indiantrail.org/planlog1.php?id=450&type=15>

**LOCATION MAP**





## **REZONING COMMUNITY MEETING REPORT (EVENING)**

Applicant: Blake Communities VP2-SC, LLC

Rezoning Petition No. CZ 2015-005

This Community Meeting Report is being filed with the Town of Indian Trail Planning and Neighborhood Services Department for the Waxhaw Indian Trail Road rezoning project. Separate reports are being filed for the daytime and evening meetings (if required).

### **DATE, TIME AND LOCATION OF MEETING:**

The Community Meeting was held on Wednesday, January 27, 2016 from 6:00PM-8:00PM at Indian Trail Civic Building, 100 Najo Trail, Indian Trail, NC 28079

### **MEETING NOTIFICATION:**

A representative of the Town of Indian Trail mailed written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on January 13, 2016.

### **PERSONS IN ATTENDANCE AT MEETING** (see attached copy of sign-in sheets):

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit B. The Applicant was represented at the Community Meeting by Eric Swanson and Matthew Velkovich. Ms. Gretchen Coperine of the Town of Indian Trail Planning and Neighborhood Services Department represented the Town at the meeting.

### **SUMMARY OF PRESENTATION/DISCUSSION:**

The Applicant's agent, Eric Swanson, welcomed the attendees and introduced the Applicant's team. Mr. Swanson indicated that the Applicant proposed to rezone an approximately 16 acres at 2323 Waxhaw-Indian Trail Road from the SF-1 to SF-5. Mr. Swanson explained the rezoning process in general and stated that the purpose of the meeting was to discuss the rezoning request and the conditional site plan and respond to questions and concerns from nearby residents and property owners.

Mr. Swanson then presented the site plan and pointed out various commitments made by the Applicant. Mr. Swanson showed proposed architectural elevations and discussed the design of the proposed site. He used the elevations and renderings to explain the proposed homes that will be marketed.

Mr. Bob Babb, 209 Edenshire Court asked about how drainage is being addressed. Mr. Velkovich explained that this issue was brought up during the afternoon session and that he would be invited to an on-site meeting with Town Staff (that meeting is scheduled for February 5, 2016 at 3:00 PM).

Others in attendance reviewed the plans and renderings. They offered no other comments or questions.

Respectfully submitted, this 3<sup>rd</sup> day of February, 2016



P.O. Box 2430  
 Indian Trail, North Carolina 28079  
 Telephone 704-821-5401  
 PLANNING AND NEIGHBORHOOD SERVICES

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<b>Proposed Zoning</b>	CZ-SF-5 (CZ2015-005 Waxhaw Indian Trail Rd). This zoning designation is primarily intended for the development of single family residential uses.
<b>Existing Zoning</b>	SF-1 (Single family)
<b>Intent</b>	The intent of the proposed zoning map amendment is to support development of approximately 49 single-family dwellings targeted as senior housing.
<b>Applicant</b>	Black Communities VP2-SC, LLC

### What is a Conditional Zoning Map Amendment or Conditional Rezoning?

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The documentation on the proposed changes will be available from 9:00 a.m. until 5:00 p.m., Monday-Friday at the Indian Trail Administrative Services Building at 130 Blythe Drive, Indian Trail, NC 28079. You may also go to the Town's website at [www.indiantrail.org](http://www.indiantrail.org) for more information on this meeting, or contact Gretchen Coperine at (704) 821-5401 or [gcoperine@planning.indiantrail.org](mailto:gcoperine@planning.indiantrail.org). The proposed application and conceptual plan in no way has been endorsed or approved by the Town of Indian Trail.

**Direct Link to Rezoning Project File on Town of Indian Trail Website:**

<http://indiantrail.org/planlog1.php?id=450&type=15>

**LOCATION MAP**







STATE OF NORTH CAROLINA )  
 )  
TOWN OF INDIAN TRAIL )

ORDINANCE # **DRAFT**

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE TOWN OF INDIAN TRAIL REZONING PARCELS 07117010, 07117010A, 07117010B and 07117010C FROM FINGLE FAMILY SF-1 DISTRICT TO CZ- SF-5 SINGLE FAMILY DISTRICT WITHIN OLD MONROE VILLAGE, IN THE TOWN OF INDIAN TRAIL, UNION COUNTY, NORTH CAROLINA**

WHEREAS, the applicant Blake Communities VP2-SC, LLC on behalf of the property owners Patricia Shelby, et al., petitioned to rezone parcels 07117010, 07117010A, 07117010B and 07117010C from Single Family SF-1 District to a Conditional Zoning District SF-5 Single Family District for the purpose developing approximately 49 single-family dwelling units; and

WHEREAS, this Conditional Zoning Amendment (CZ2015-005) was duly noticed in compliance with North Carolina General Statutes; and

WHEREAS, two community meetings were held on January 27, 2016; and

WHEREAS, a public meeting was held by the Planning Board on February 16, 2016 to consider this conditional zoning request; and

WHEREAS, the Planning Board after hearing the case and public comments found the proposed map amendment is consistent with the following goals of the Comprehensive Plan:

- *Land Use and Housing Goals #1, 2 and 5:* The proposed project promotes compatibility of land uses between neighboring properties and residential properties within surrounding jurisdictions, increases the diversity of housing options within Indian Trail, and proposes high quality design to promote attractive land development; and
- *Mobility and Transportation Goal #3:* The proposed development incorporates pedestrian amenities and connectivity throughout the community, as well as opportunity to connect to any future development directly north of this development.

The request for this conditional zoning district (SF-5 District) is a reasonable request and is in the public interest because supports the goals of the adopted Comprehensive Plan and includes elements that benefit the general public in the areas of transportation, land use and housing.

WHEREAS, after making the draft findings the Planning Board approved 5 to 0 the motion to transmit a recommendation to approve as conditioned to the Town Council; and

WHEREAS, the Town Council held a public hearing on March 22, 2016 to consider said request and recommendation of approval from the Planning Board; and

WHEREAS, the Town Council concurred with the Planning Board’s consistency findings and hereby endorses said findings; and

**NOW, THEREFORE, IT SHALL BE ORDAINED** by the Town Council of the Town of Indian Trail, North Carolina that it hereby takes the following action:

**Section 1** – Approves CZ 2015-005 Conditional Zoning Petition thereby granting the Zoning Map amendment to establish Conditional Zoning District of SF-5 Single Family for the purpose developing approximately 49 single-family dwelling units and subject to the following conditions:

1. *Subject Parcels:* Rezoning – 07117010, 07117010A, 07117010B and 07117010C to CZ-SF-5.
2. *Permitted Uses:* The permitted use on the subject property is single-family detached residential and accessory uses as permitted the UDO.
3. *Permitted Number of Units:* The maximum number of units on the subject development shall not exceed 49 single-family detached dwelling units.
4. *Lot Frontage, Setbacks and Height:* Lots shall provide 50’ width, as generally referenced on the concept plan (Exhibit 1). Setbacks and other requirements shall be provided as follows:

<b>Lot Width</b>	<b>Lot Area Minimum</b>	<b>Front and Rear Setback</b>	<b>Side Setback</b>	<b>Maximum Height</b>
50 foot minimum	6000 square feet minimum	25 feet Front *(see note regarding Garage placement below) 20 feet Rear	5 feet on interior lots 10 feet on corner lots	35 feet maximum
* <b>Garage:</b> may be a maximum of 2 feet in front of the front façade or porch, if one exists.				

5. *Conceptual Plan:* The proposed single-family development and associated improvements shall comply with the conceptual plan attached herein as Exhibit 1.
  - a. *On-street parking:* on-street parking shall be provided at key locations as generally depicted on the Conceptual Plan.
  - b. *Open Space:* All open space areas shall be generally consistent with the layout reflected in Exhibit 1 and shall contain trees and shrubs, as well as passive recreation fixtures where feasible. The large central open space in the concept plan in Exhibit 1 within the community shall be landscaped with plant species which require low maintenance.
  - c. *Open Space Pathway:* The pathway shown within the large central open space in the concept plan in Exhibit 1 shall be a paved surface, to the satisfaction of the Town Engineering and Planning Departments.
6. *Architecture:*
  - a. All homes shall be built in general accordance with the elevations in Exhibit 2 and shall be constructed of brick, stone, wood, or shake siding with no vinyl or composite siding or synthetic stucco.

- b. *Vary elevations/architectural models on adjacent lots:* Every lot shall provide a different architectural model from the lot(s) adjacent to it. No two identical architectural elevations which include identical facades, roof lines, door and window placement and details, shall be built on lots adjacent to or directly across from each other.
  - c. Architectural details shall include ornamented garage doors, decorative light fixtures on either sides of the garage door, gable pediments, transoms above the front entry door, as generally depicted in Exhibit 2.
  - d. There shall be no blank walls on any side elevations.
  - e. All units shall provide the master bedroom located on the first floor to support the age-targeted marketing concept.
  - f. *Mailboxes:* A decorative cluster mailbox must be provided, as generally depicted in the conceptual plan.
7. *Tree Retention:* The development is conditioned to comply with Chapter 830- Tree Preservation Ordinance of the UDO. A Heritage tree survey and tree canopy plan is required within the site plan review process. All reasonable efforts will be made to retain the existing Heritage Trees on the site, however, it is recognized that several may need to be removed and mitigation will be undertaken in accordance with UDO Chapter 830(E) requirement.
  8. *Perimeter Landscape Buffer:* A 20 foot perimeter landscape buffer shall be provided as generally depicted on the concept plan (Exhibit 1).
  9. *Stormwater Management Measures:* The size of the proposed stormwater management facilities identified on the Conceptual Plan is for illustrative purposes only. The exact size shall be determined during Site Plan submittal, to meet 100-year storm requirements. Unless deemed infeasible by the Town Engineering Department, the water management facilities shall tie into the existing drop inlets along the eastern boundary (rear of the subject property) found between Lots 184 and 186, and between Lots 191 and 192 of Colton Ridge.

All detention ponds shall provide a dense vegetation screening. Fencing shall be provided around the stormwater management improvements to minimize any visual obtrusiveness, as well as amenities including but not limited to water fountains, gathering areas and/or similar passive recreation areas for residents.
  10. *Waxhaw Indian Trail Road Roadway Improvements:* Prior to the issuance of Town Zoning Compliance for any home, the developer shall be responsible for constructing the ROW improvements listed below on Waxhaw Indian Trail Road:
    - A left-turn lane with 100 foot full stacking and, and in coordination with the design for Arbors at Blanchard roadway improvements.All required roadway improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home. All roadway improvements shall be constructed to the Town of Indian Trail and NCDOT standards.
  11. *Frontage Improvements:* Frontage improvements along Waxhaw Indian Trail Road shall be provided and include a 6 foot sidewalk, and street lights and curb/gutter. A minimum ROW measured 50 feet from the center line of the existing road shall be provided and dedicated to NCDOT or its assigns. All required frontage improvements shall be constructed and any associated public ROW dedicated prior to the issuance of Town Zoning Compliance for any home.

12. *Onsite Roadway Improvements:* Internal Roads within the subject site shall be constructed with a minimum of 50' right-of-way. Improvements shall consist of two travel lanes in opposite direction, curb/gutter, 5-ft wide sidewalks, street lights and street trees. Traffic calming features may be required throughout the development and may include a combination of raised intersections, pedestrian crossings, speed tables and/or other traffic calming mechanisms, as approved by the Town Engineering Department. All roadways shall be constructed in accordance with Town Engineering Standards.
13. *Sketch Plan Approval from Union County Public Works.*
14. *Revocation:* The Town Council may act to revoke the conditional zoning district designation if the applicant fails to meet the terms of the district.

**Section 2** – This ordinance shall be effective immediately upon adoption.

**AND IT IS SO ORDAINED** this \_\_ day of March, 2016.

**TOWN OF INDIAN TRAIL COUNCIL**

Attest:

---

Kelley Southward, Town Clerk

---

Michael Alvarez, Mayor

APPROVED AS TO FORM:

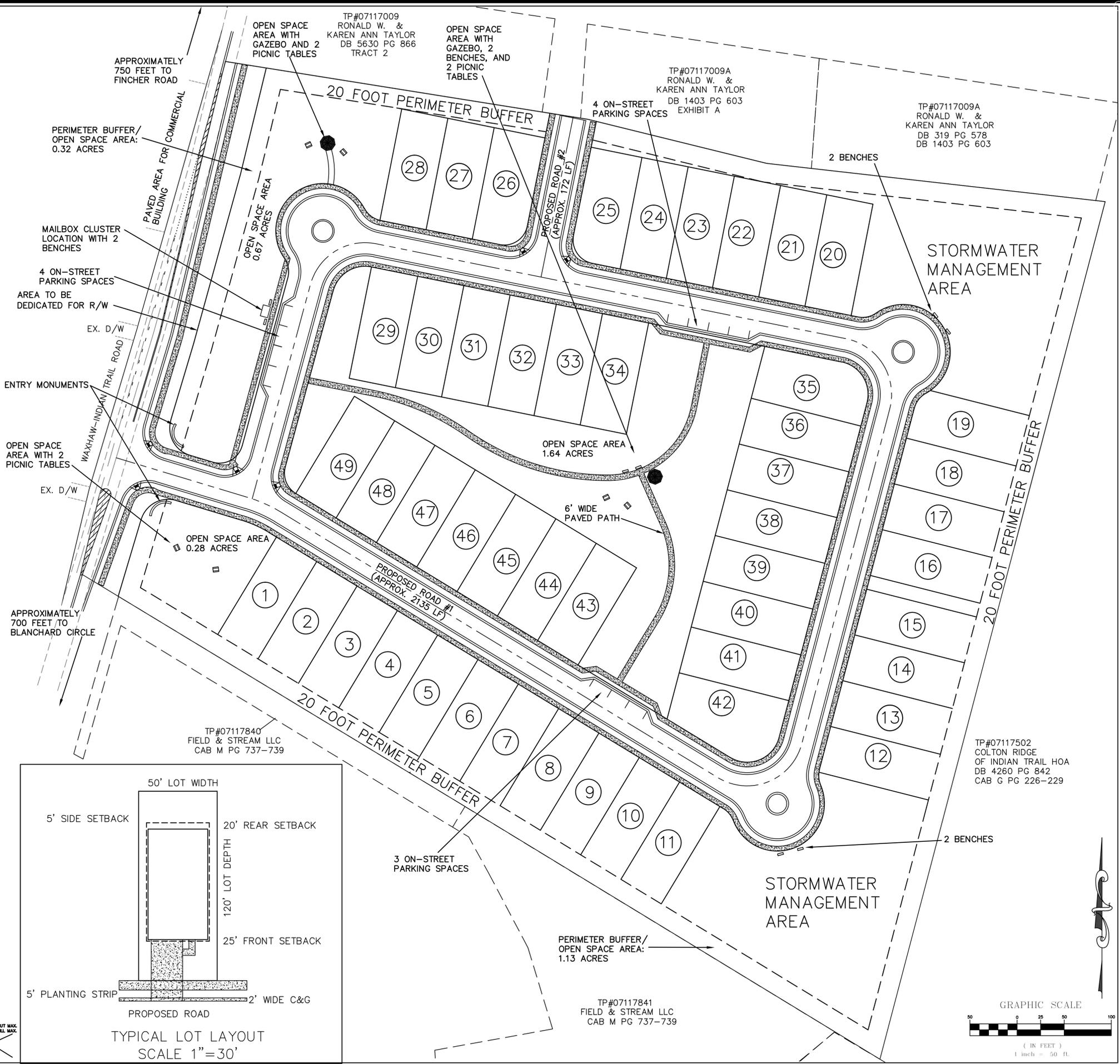
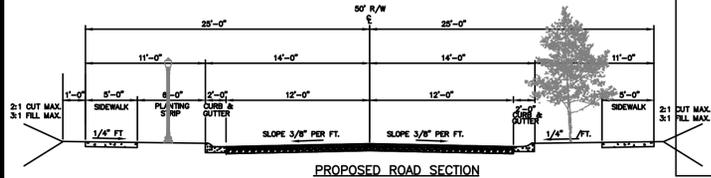
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TOWN ATTORNEY



**NOTES: VICINITY MAP**  
NOT TO SCALE

- PARCELS WITHIN CONDITIONAL ZONING REQUEST INCLUDE:  
#07-117-010  
#07-117-010A  
#07-117-010B  
#07-117-010C
- PARCELS ARE CURRENTLY ZONED SF-1
- PROJECT IS LISTED AS TOWN OF WAXHAW CASE NUMBER CZ2015-005.
- OPEN SPACE: REQUIRED: 1/35 AC PER HOME (1.4 ACRES TOTAL)  
PROVIDED: 4.04 ACRES  
BMP ACREAGE WITHIN OPEN SPACE IS APPROXIMATELY 1.74 ACRES
- NUMBER OF PROPOSED SINGLE FAMILY LOTS IS 49.
- DENSITY FOR THE PROJECT IS 3.0 DU/AC.
- PARCEL ACREAGE IS 16.13 ACRES TOTAL
- PROPOSED MINIMUM LOT SIZE SHALL BE 6,000 SQUARE FEET. (50' X 120')
- PROPOSED SETBACKS SHALL BE:  
FRONT: 25 FEET  
SIDE (INTERIOR): 5 FEET  
REAR: 20 FEET  
SIDE (CORNER LOT): 10 FEET (ON CORNER SIDE)
- MAXIMUM HEIGHT OF STRUCTURE IS 35 FEET.
- MINIMUM DRIVEWAY LENGTH SHALL BE 22' FEET AS MEASURED FROM BACK OF SIDEWALK TO FACE OF GARAGE.
- ON-STREET PARKING SHOWN WHERE INDICATED ON PLAN.
- MAILBOX CLUSTER TO BE PROVIDED WHERE SHOWN ON PLAN. ON-STREET PARKING MUST BE LOCATED IN FRONT OF CLUSTER.
- AGE TARGETED COMMUNITIES- THEIR MARKETING TARGETS ADULTS AGE 55 OR OLDER BUT THEY ARE NOT EXPLICITLY AGE-RESTRICTED. RESIDENTS LEAD AN INDEPENDENT, ACTIVE LIFESTYLE WHERE AMENITIES MAY INCLUDE WALKING TRAILS AND OTHER RECREATIONAL SPACES. THE COMMUNITIES DO NOT PROVIDE HEALTH CARE OR HEALTH-RELATED SERVICES. OUTDOOR MAINTENANCE IS TYPICALLY INCLUDED IN A MONTHLY HOMEOWNER'S ASSOCIATION OR CONDOMINIUM FEE
- PROJECT WILL DEDICATE 44' OF R.O.W. FROM CENTERLINE OF ROAD FOR ROAD IMPROVEMENTS.
- TRAFFIC CALMING MEASURES SHOWN WHERE INDICATED ON THE PLANS.
- LANDSCAPING WITHIN THE CENTER OF THE PROPOSED KNUCKLES MAY NOT BE IRRIGATED.
- CURB, GUTTER, AND SIDEWALK SHALL BE CONSTRUCTED WILL BE REQUIRED ON BOTH SIDES OF THE INTERIOR ROAD. ALL INTERIOR ROADS WILL BE TOWN MAINTAINED AND AS SUCH MUST BE BUILT TO TOWN STANDARDS.
- PROJECT WILL REQUIRE STORMWATER DETENTION AND WATER QUALITY MEASURES IN ACCORDANCE WITH THE TOWN OF INDIAN TRAIL'S POST-CONSTRUCTION STORM WATER ORDINANCE.
- STORMWATER CONTROL MEASURES (SCMs) MUST BE CONNECTED TO EXISTING STRUCTURES WITHIN THE COLTON RIDGE SUBDIVISION THROUGH PHYSICAL MEANS.
- A PERMIT FROM NCDENR WILL BE REQUIRED FOR THE EROSION CONTROL PLAN.
- THE 20 FOOT PERIMETER BUFFER WILL BE LANDSCAPED TO SUPPLEMENT EXISTING VEGETATION. BERMS CAN BE ADDED IN ADDITION TO THE LANDSCAPING WHERE FEASIBLE. BERMS MUST BE AGREED ON BY THE TOWN TO ENSURE DRAINAGE ISSUES ARE NOT CREATED FOR ADJACENT PROPERTIES.
- THE OPEN SPACE WILL BE SUPPLEMENTED WITH TWO (2) GAZEBO, SIX (6) PICNIC TABLES, AND EIGHT (8) BENCHES AS SHOWN ON THE PLAN.
- PROJECT MUST COMPLY WITH THE REQUIREMENT OF THE TOWN OF INDIAN TRAIL UNIFIED DEVELOPMENT ORDINANCE, CHAPTER 830, TREE PRESERVATION AND PROTECTION.
- ENTRY MONUMENTS AND LANDSCAPING WILL BE PROVIDED AT THE ENTRANCE. THE LOCATION OF THE ENTRY MONUMENTS IS LOCATED ON THE PLAN.
- DEBRIS BURIAL SITE WILL BE REMOVED. MATERIAL REMOVED FROM THE SITE WILL BE DISPOSED OF IN AN APPROVED MANNER AND DOCUMENTED BY A THIRD PARTY PROFESSIONAL.
- THE STREET SYSTEM SHOWN ON THIS PLAT INCLUDES ONE OR MORE STUB STREETS THAT ARE INTENDED TO BE CONNECTED TO THE ADJACENT PROPERTY AT SUCH TIME THAT THE PROPERTY IS DEVELOPED. THE INTERCONNECTION OF NEIGHBORHOODS WITH A STREET NETWORK ENSURES THE EFFICIENT FLOW AND DISPERSAL OF TRAFFIC AND PROVIDES FOR ADDITIONAL POINTS OF INGRESS AND EGRESS FOR EMERGENCY VEHICLES.
- PROJECT WILL CREATE 11 ON-STREET PARKING SPACES AS SHOWN ON THE SITE PLAN.
- THE OPEN SPACE AREA ALONG WAXHAW-INDIAN TRAIL ROAD WILL NEED TO INCLUDE NATURAL LANDSCAPING TO PROVIDE AN ADEQUATE BUFFER. SUCH AREA MAY INCLUDE NATURAL AREAS OF PINE TREES AND OTHER PLANTINGS APPROPRIATE FOR SCREENING.



**SUMMIT LAND SERVICES**  
3575 CENTRE CIRCLE DRIVE  
FORT MILL, SC 29715  
OFFICE: 704.504.1717  
FAX: 704.504.1125  
WWW.SUMMIT-COMPANIES.COM  
NC FIRM C-3126 / SC COA 3780

PROJECT:  
**PROPOSED SINGLE FAMILY DEVELOPMENT**  
WAXHAW-INDIAN TRAIL ROAD  
TOWN OF INDIAN TRAIL, N.C.

CLIENT:  
**BLAKE WHITNEY THOMPSON CO.**  
POST OFFICE DRAWER 7598  
ST. PETERSBURG, FLORIDA 33764

ORIG. PROJ. DATE: 12-15-2015  
SCALE: 1" = 50'  
DRAWN BY: MG  
CHECKED BY: MG

**SKETCH PLAN**

TP#07117502  
COLTON RIDGE  
OF INDIAN TRAIL HOA  
DB 4260 PG 842  
CAB G PG 226-229

TP#07117840  
FIELD & STREAM LLC  
CAB M PG 737-739

TP#07117841  
FIELD & STREAM LLC  
CAB M PG 737-739

TP#07117009  
RONALD W. &  
KAREN ANN TAYLOR  
DB 5630 PG 866  
TRACT 2

TP#07117009A  
RONALD W. &  
KAREN ANN TAYLOR  
DB 1403 PG 603  
EXHIBIT A

TP#07117009A  
RONALD W. &  
KAREN ANN TAYLOR  
DB 319 PG 578  
DB 1403 PG 603

GRAPHIC SCALE  
( IN FEET )  
1 inch = 50 ft.

PROJECT NO:  
**3572**

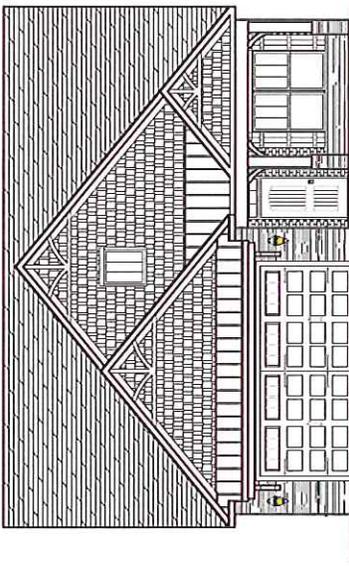
SHEET  
**SK**

# The Austrian

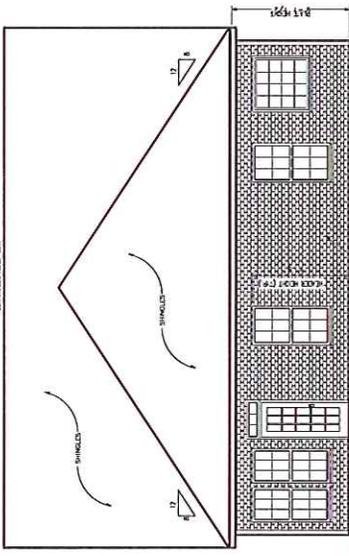
2-3 Bedrooms  
2-3 Bathrooms  
2,193 sqft - 2,656 sqft



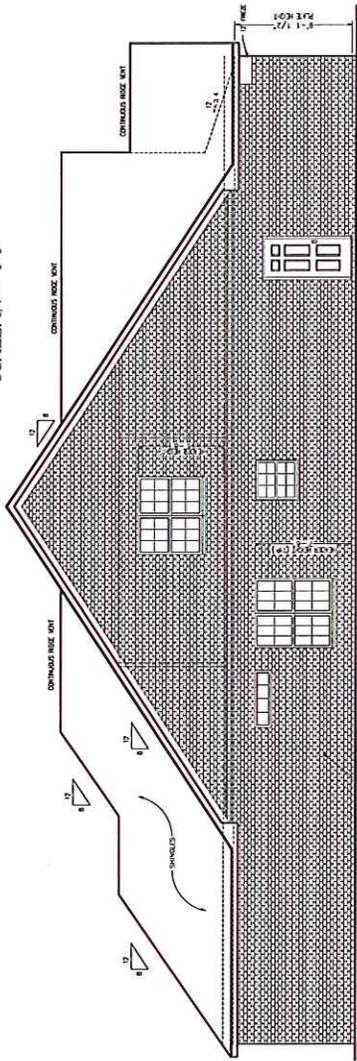




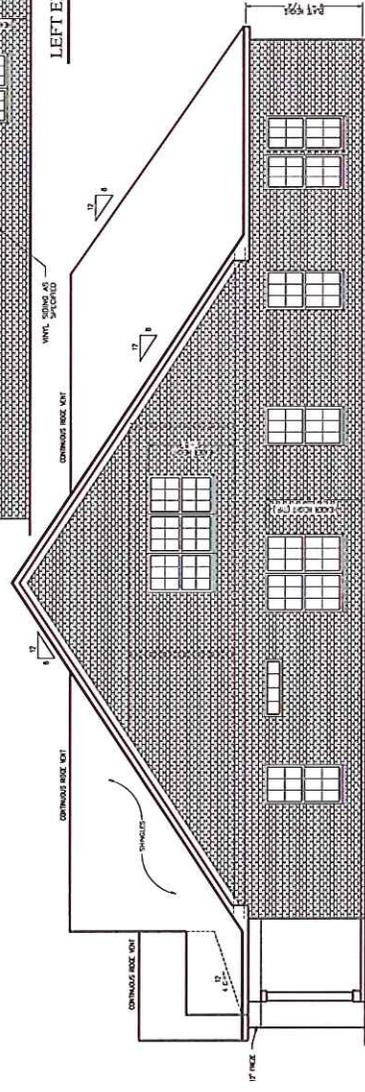
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

**General Notes**

1. All work shall be in accordance with the applicable building codes and standards.

2. The contractor shall be responsible for obtaining all necessary permits.

3. The contractor shall maintain the site in a safe and sanitary condition at all times.

4. The contractor shall be responsible for the removal and disposal of all debris.

5. The contractor shall be responsible for the protection of all existing utilities.

6. The contractor shall be responsible for the completion of all work within the specified time frame.

7. The contractor shall be responsible for the payment of all subcontractors and suppliers.

8. The contractor shall be responsible for the maintenance of accurate records of all work.

9. The contractor shall be responsible for the coordination of all work with the architect.

10. The contractor shall be responsible for the completion of all work in accordance with the contract documents.

LEFT-HAND GARAGE  
THE AUSTRIAN - ELEVATIONS  
1/4" = 1'-0"

No.	Revision/Issue	Date

**H&H HOMES**  
JAMES GORDON  
VP of Operations / Regional Manager  
10000 W. 10th Ave., Suite 100  
Denver, CO 80202  
Tel: 303.751.1111  
Fax: 303.751.1112



Project	
Architect	
Scale	1/4" = 1'-0"
Sheet	A2

# The Wollemi

2-3 Bedrooms  
2-3 Bathrooms  
1,987 sqft - 2,464 sqft



General Notes:  
 1. All dimensions are shown in feet and inches.  
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 4. All dimensions are shown in feet and inches.  
 5. All dimensions are shown in feet and inches.  
 6. All dimensions are shown in feet and inches.  
 7. All dimensions are shown in feet and inches.  
 8. All dimensions are shown in feet and inches.  
 9. All dimensions are shown in feet and inches.  
 10. All dimensions are shown in feet and inches.

The WOLLEMI - FLOOR PLANS  
 1/4" = 1'-0"

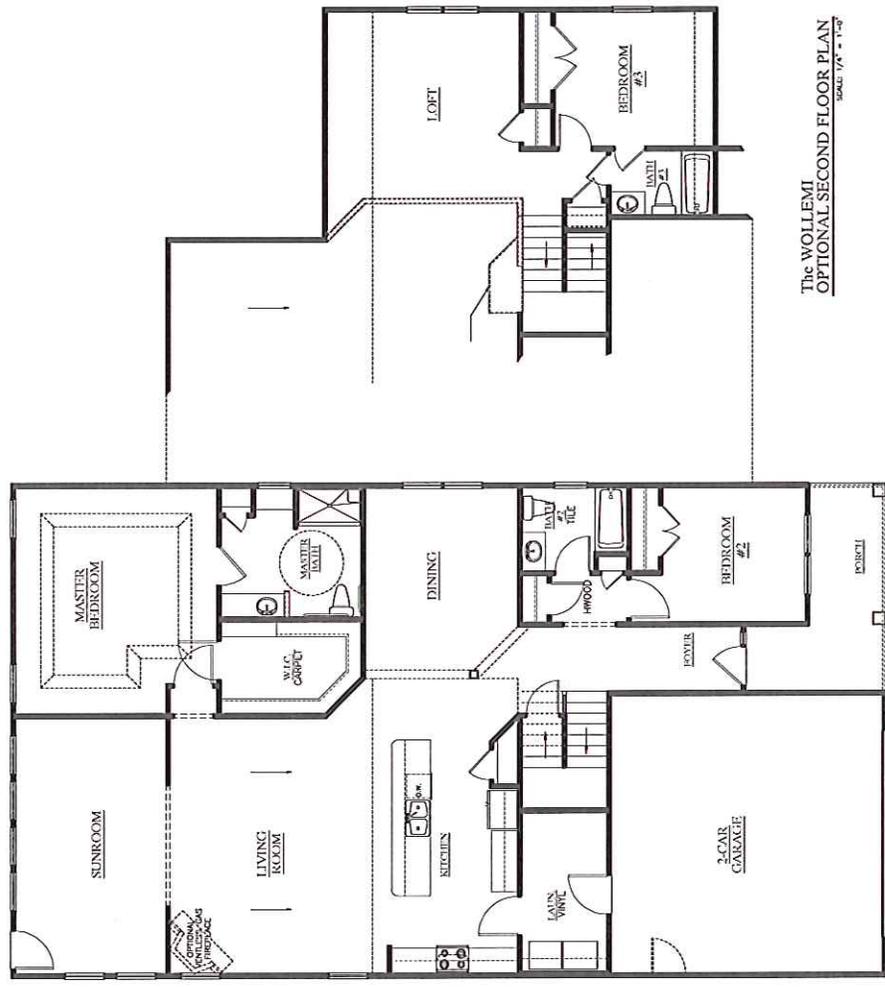
No.	Revision/Issue	Date

H&H HOMES  
 JAMES GOWEN  
 VP of Operations - Regional Manager  
 10000 Highway 100, Suite 100  
 Houston, TX 77036  
 281.468.1000  
 www.hhhomes.com



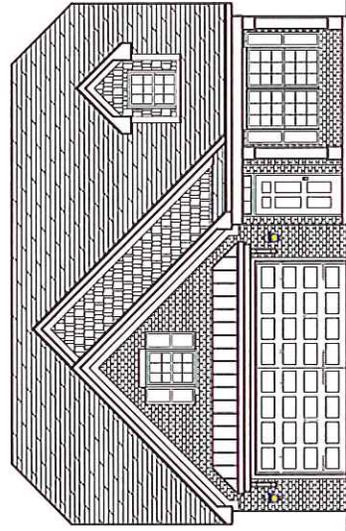
Project	The WOLLEMI
Sheet	A2
Scale	1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY:  
 FIRST FLOOR: 1887 Sq. Ft.  
 OPT. LOFT: 477 Sq. Ft.  
 GARAGE: 476 Sq. Ft.  
 FRONT PORCH: 271 Sq. Ft.

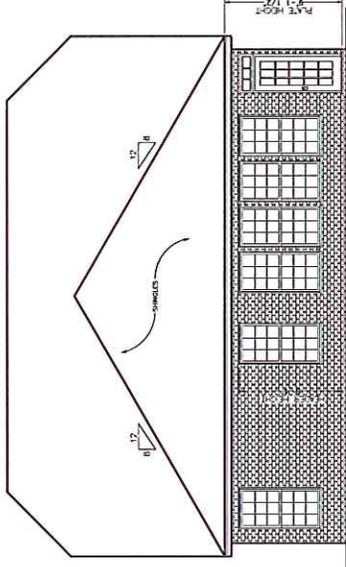


The WOLLEMI  
 OPTIONAL SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

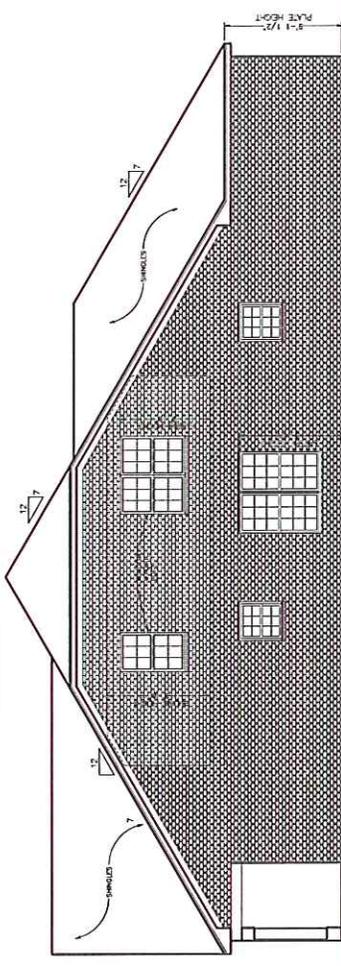
The WOLLEMI  
 FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



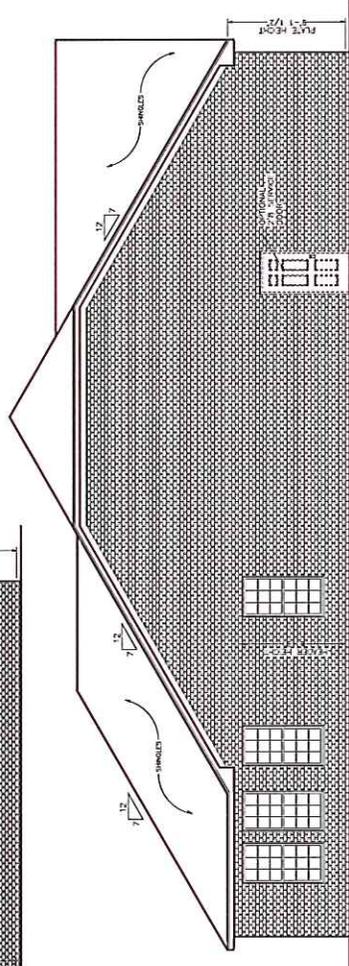
The WOLLEMI  
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



The WOLLEMI  
REAR ELEVATION 'C'  
SCALE: 1/8" = 1'-0"



The WOLLEMI  
LEFT ELEVATION 'C'  
SCALE: 1/8" = 1'-0"



The WOLLEMI  
RIGHT ELEVATION 'C'  
SCALE: 1/8" = 1'-0"

**General Notes**

1. All work shall be done in accordance with the latest editions of the International Building Code, International Residential Code, and all applicable local codes and ordinances. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and ordinances.

2. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions. The contractor shall be responsible for obtaining all necessary material samples and for providing them to the architect for approval.

3. The contractor shall be responsible for protecting all existing work and for restoring any damaged work. The contractor shall be responsible for maintaining access to all adjacent properties and for obtaining all necessary easements and rights-of-way.

4. The contractor shall be responsible for obtaining all necessary utility markings and for protecting all utilities. The contractor shall be responsible for obtaining all necessary easements and rights-of-way.

5. The contractor shall be responsible for obtaining all necessary insurance and for providing proof of insurance to the architect.

6. The contractor shall be responsible for obtaining all necessary bonds and for providing proof of bonds to the architect.

7. The contractor shall be responsible for obtaining all necessary permits and for providing proof of permits to the architect.

8. The contractor shall be responsible for obtaining all necessary approvals and for providing proof of approvals to the architect.

9. The contractor shall be responsible for obtaining all necessary approvals and for providing proof of approvals to the architect.

10. The contractor shall be responsible for obtaining all necessary approvals and for providing proof of approvals to the architect.

LEFT-HAND GARAGE  
THE WOLLEMI - ELEVATIONS  
1/4" = 1'-0"

No.	Revision/Issue	Date

**H&H HOMES**  
H&H HOMES  
14801 148th Avenue  
Vashon, WA 98143  
206.461.1111  
www.hhhomes.com



Project Name	The WOLLEMI
Sheet No.	12/23
Scale	1/4" = 1'-0"
Sheet Size	A3

# The Bristlecone

2-3 Bedrooms  
2-3 Bathrooms  
1,889 sqft - 2,461 sqft



General Notes

To the best of his knowledge, the designer has prepared these plans in accordance with the applicable building codes and all applicable laws, regulations, ordinances, and codes. The designer will not be liable for human error or other omissions, errors, or omissions, and the contractor shall verify all conditions, dimensions, details, and materials. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

1/4" = 1'-0"

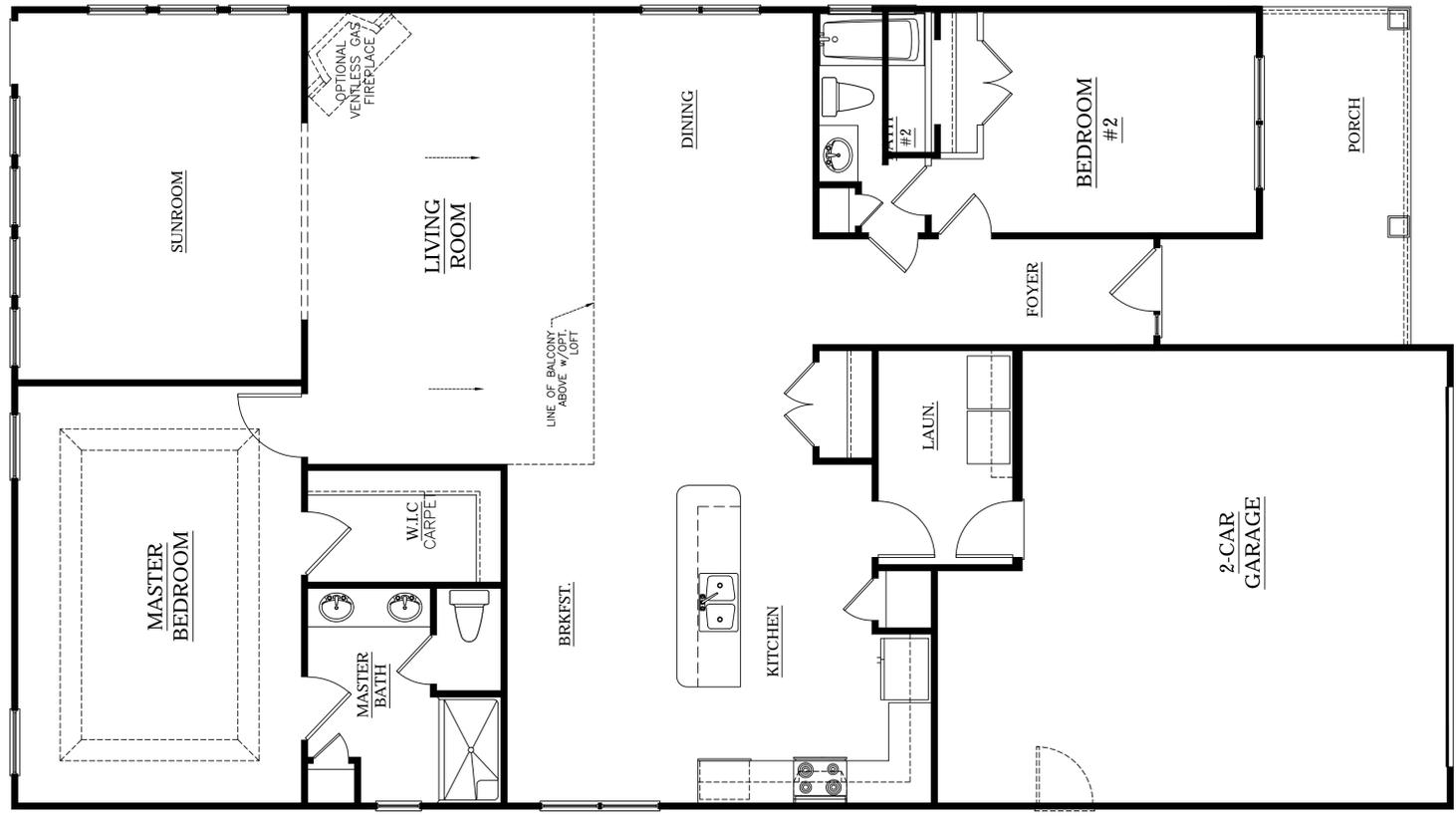
The BRISTLECONE - FLOOR PLANS

No.	Revision/Issue	Date

**H&H HOMES**  
 JAMIE GODWIN  
 VP of Operations / Regional Manager  
 2918 Brezewood Avenue  
 Fayetteville, NC 28411  
 910.484.4884 office  
 910.484.4884 cell  
 910.484.0463 fax

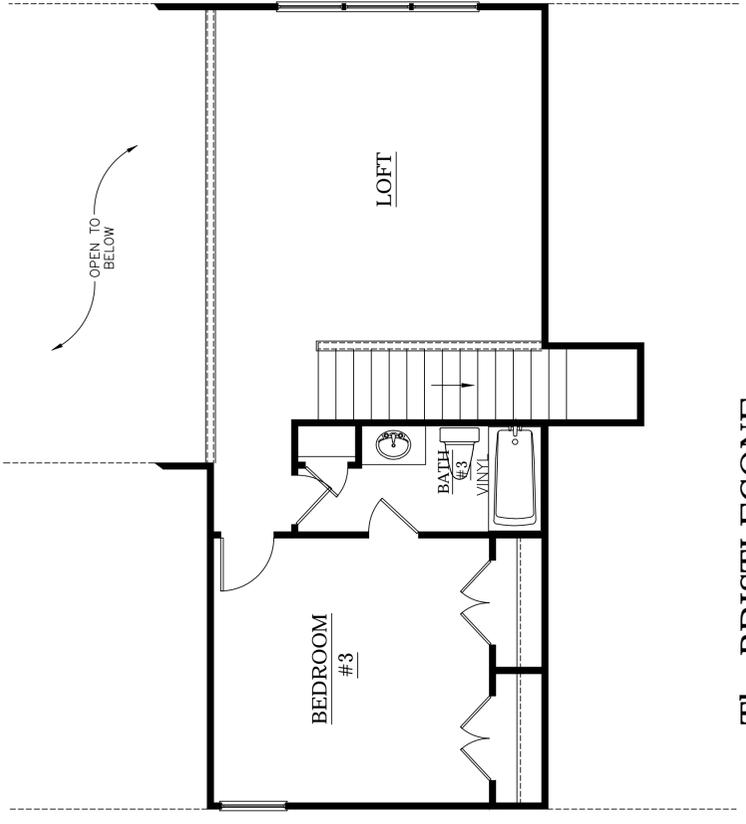


Project	The BRISTLECONE	Sheet	A2
Date	12/7	Scale	1/4" = 1'-0"



The BRISTLECONE  
 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

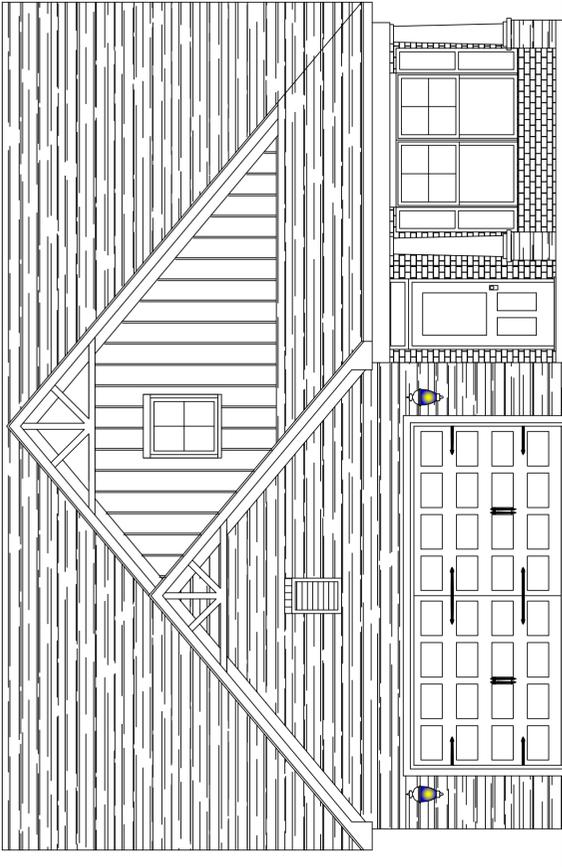


The BRISTLECONE  
 OPTIONAL SECOND FLOOR PLAN

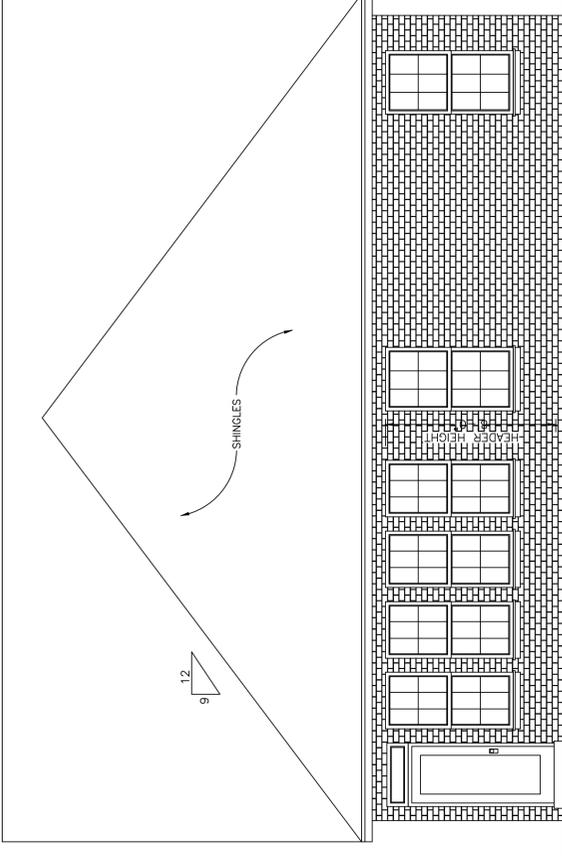
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY:

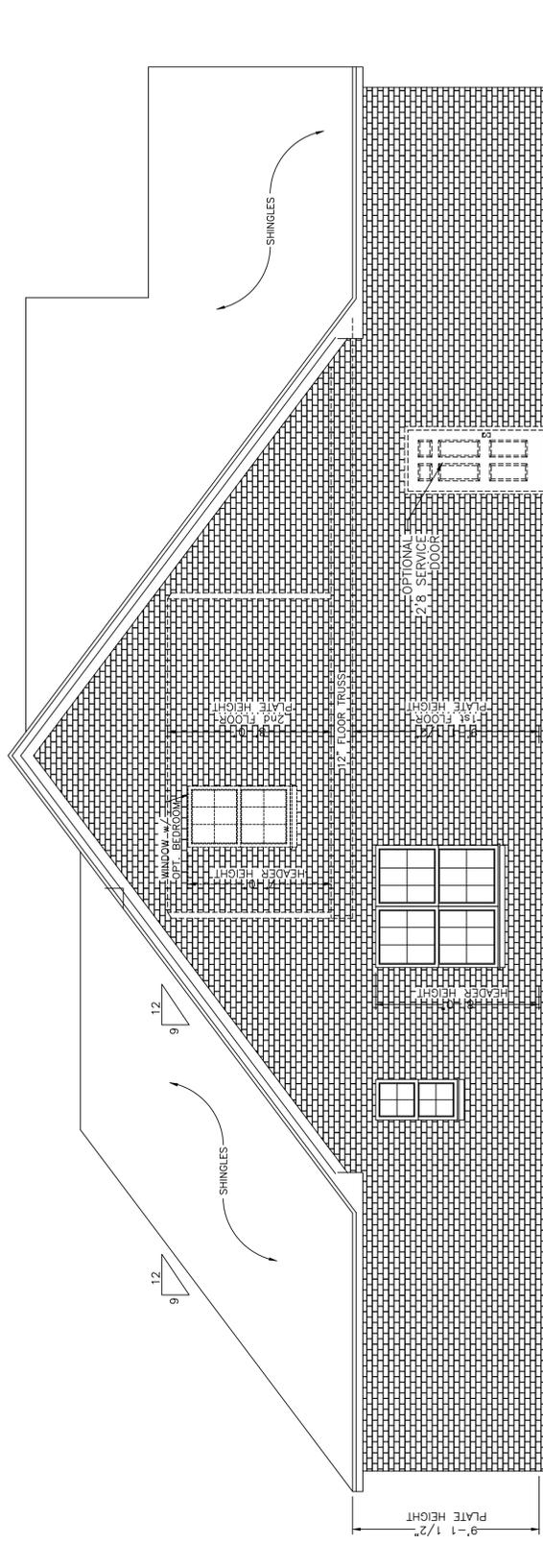
FIRST FLOOR:	1889 Sq. Ft.
OPT. LOFT:	572 Sq. Ft.
GARAGE:	491 Sq. Ft.
FRONT PORCH:	103 Sq. Ft.



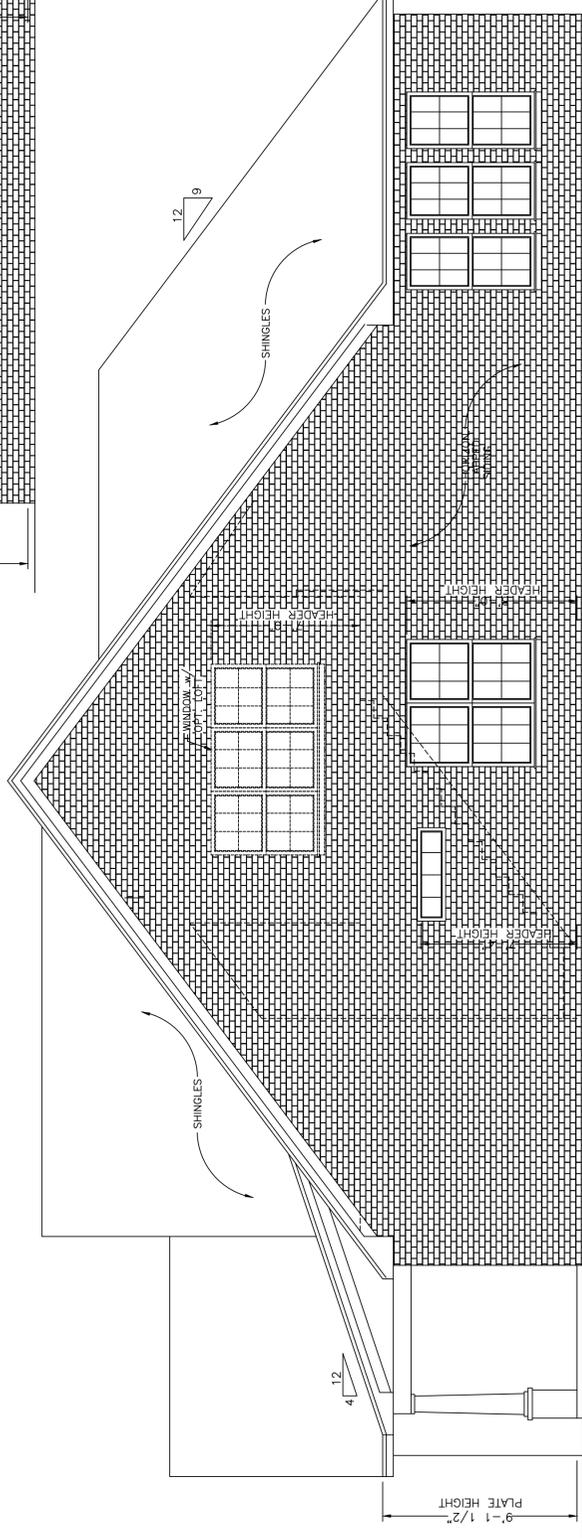
**The BRISTLECONE  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**The BRISTLECONE - ELEVATIONS**  
1/4" = 1'-0"

No.	Revision/Issue	Date

**H&H HOMES**  
JAMIE GODWIN  
VP of Operations / Regional Manager  
2918 Breesewood Avenue  
Fayetteville, NC 28311  
910.484.8844 office  
910.484.8844 cell  
910.484.0463 fax



Project The BRISTLECONE	Sheet A3
Date 12/3	Scale 1/4" = 1'-0"

**General Notes**  
Drawings, specifications and related items are not meant to be a contract. The client's right is conditional and limited to the use of a single project on the specific property as noted herein. Plans may not be altered or even modified without the consent of the designer. No other use of these drawings is permitted without the consent of the designer. The designer shall be responsible for the accuracy of the drawings. The designer will not be liable for human error or other construction errors.  
To the best of his knowledge, the designer has prepared these plans in accordance with the applicable building codes and local building codes in effect at the time. Although every reasonable effort has been made to avoid errors, omissions, and mistakes, the contractor and/or client shall verify all conditions, details, and dimensions before construction begins.



## Town of Indian Trail



P.O. Box 2430

Indian Trail, North Carolina 28079

Telephone 704-821-5401

Fax 704-821-9045

### PLANNING AND NEIGHBORHOOD SERVICES DEPARTMENT PLANNING BOARD MINUTES

February 16, 2016

06:30 P.M.

#### CALL TO ORDER

#### ROLL CALL

The following members of the governing body were present:

Board Members: Larry Miller, Patricia Cowan, Jan Brown, Cathi Higgins, Sidney Sandy, and Jorge Aponte.

Members Present but None.

not Voting:

Absent: Alan Rosenberg.

Staff Members: Rox Burhans-Planning Director, Gretchen Coperine- Senior Planner, and Pam Good-Board Secretary

#### APPROVAL OF MINUTES- December 15, 2015

Motion to approve as written by Member Brown, seconded by Member Higgins. The vote to approve was unanimous.

#### PUBLIC ITEMS

**CZ2015-005** Waxhaw-Indian Trail Rd: This is a request to reclassify various parcels totaling approximately 16 acres. The rezoning is from Single Family (SF-1) to Single-Family (SF-5) with a conditional zoning district. The SF-5 zoning district is a moderate/high density single-family residential zoning district. The intent of this request is to allow approximately 49 single-family dwelling units intended to be age-targeted housing for persons 55 years and older. The property is located on Waxhaw Indian Trail Road, north of Blanchard Circle.

Staff Gretchen Coperine presented the case. She gave a brief background of the request as well as the location and explained that the project would be age targeted. Staff Coperine spoke about present zoning that surrounds the subject property, giving an overview of the key elements of the concept plan and showed, on power point that it has two access points that exceeds requirements, as well as the following details:

*Site Layout:* The Concept Plan contemplates approximately 49 lots, detention ponds with amenities, common open space areas, on-street parking in key location as well as connecting sidewalks throughout the entire community and an opportunity for future connection to any development directly north of the subject site.

*Onsite Roadway Improvements:* Access within the site will be provided by a minimum of 50-ft wide Rights-of-Way (ROW) that will be designed with curb/gutter, sidewalks, street lights and street trees. The UDO permits a single access point for subdivisions with less than 50-lots.

*Roadway and Frontage Improvements:* The community will have one access point off Waxhaw Indian Trail Road. North Carolina Department of Transportation (NCDOT) will require the appropriate roadway

improvements (i.e., left turn lane and stacking distances) to be provided in order to ensure appropriate access into and out of the development. In addition, the Waxhaw Indian Trail Road frontage will be improved with curb/gutter, a 6 foot sidewalk, street trees and street lights.

*Open Space and Tree Retention:* Approximately 2.3 acres of open space will be provided within the community. All open space areas will contain a combination of ornamental landscaping including trees and shrubs, as well as passive recreation fixtures where feasible.

*Architectural Design:* All homes will be built in general accordance with the elevations in the draft Ordinance and will provide the Master bedrooms on the first floor to support the age-targeted marketing concept.

*Lot Frontage, Setbacks and Height:* Lots shall provide 50' width, as generally referenced on the concept plan.

### ***Comprehensive Plan***

The Indian Trail Comprehensive Plan organizes the Town into a series of interconnected villages which not only helps create a well managed growth and community development pattern, but also provides meaningful identity for Indian Trail residents. The subject property is located within Old Monroe Village of the Comprehensive Plan. This Village is intended to consist of predominantly medium to low density residential. The proposed future land use of the subject property is Medium Density Residential, which allows 2 – 4 dwelling units per acre. The proposed 49 units development on approximately 16 acres has an approximate density of 3.0 dwelling units per acre, which is consistent with the future land use map. Staff is of the opinion that the proposal is consistent with the goals of the Comprehensive Plan.

### **Comments from Outside Agencies**

- *North Carolina Department of Transportation (NCDOT):* NCDOT has provided the following comments:
- Provide a left-turn lane, with 100 foot stacking on Waxhaw Indian Trail Road.
- *Union County Public Works (UCPW):* Pending final sketch plan approval.
- *Union County Public Schools (UCPS):* The proposed 49 sfu subdivision would be in the following school attendance areas for the 2015-2016 school year:

#### **Indian Trail Elementary School**

#### **Sun Valley Middle School**

#### **Sun Valley High School**

Both Indian Trail ES and Sun Valley MS are expected to remain below watch and cap levels for the foreseeable future. However, Sun Valley HS is expected to exceed its watch level in 2017. Additional residential construction can accelerate this approach and possibly force a capping situation. Prior to reaching a cap, high enrollments contribute to problems such as additional mobile classrooms, inadequate capacity for food service and restroom facilities, rationing of access to the media center, insufficient parking and queuing space for parents to safely deliver or pick up their children, and inadequate planning/meeting space for additional staff.

- *Union County Fire Marshal (UCFM):* No comments at this time.
- *Union County Sheriff:* Comments regarding ensuring driveway depths were adequate to accommodate a car or truck parked without obstructing the sidewalk.

Staff Coperine stated that 2 community meetings were held. General questions were raised regarding flooding concerns at both meetings. Details of the meetings were included in the staff report.

In response to the concerns raised at the community meeting, Town Planning and Engineering staff visited the subject site and adjacent property owner(s). At the conclusion of the site visit, the applicant agreed to design the storm water management areas in a manner that would help minimize drainage impacts to neighboring properties. A condition of approval has been included with regard to the design of the storm water management areas.

Staff Coperine directed the board to examine the draft conditions of approval that were provided in attachment 2 of the board's packet.

Staff Coperine read the consistency findings into the record. Staff is of the opinion that the findings can be made to support a conditional zoning district for the subject property. The proposed conditional rezone is consistent with the Town's Comprehensive Plan.

**Questions from Board:**

Member Miller stated his concern that the streets are wide enough to accommodate fire trucks if they needed to service the streets of the potential neighborhood. Staff Coperine answered that the minimum right-of-way was 50 feet in the inner roads of the subdivision which is standard with most subdivisions and is sufficient to accommodate the fire truck. Member Miller stated that the proposed units are so close that he is concerned about the safety residents that would be living there. Planning Director Rox Burhans stated that the trend toward age-targeted smaller lots is to create a low maintenance environment. The houses will be constructed with quality substances for being built in close proximity to each other.

Chair Cowan asked which creek the storm water run-off will feed into. Staff Coperine deferred the question to the developer to answer.

Member Higgins asked about the planned 5 foot wide sidewalks. Staff Coperine replied that the interior sidewalks will be 5 feet and the Waxhaw-Indian Trail Rd sidewalk will be 6 feet. Member Higgins raised a question whether residents in wheelchairs that would be able to pass by each other on a 5 foot sidewalk. She also pointed out that she saw mailboxes are clustered in the plans. She asked if that is common with an age targeted community.

Matthew Velkovich from Summit Land Services stepped to the podium, stating that he was the engineer for the project and was representing the developer. He addressed some of the questions. He pointed out that the storm water would be draining into Price Mill Creek tributary #2 and also stated that there wouldn't be an increase in rate of run off at the site.

The builder for the site, Kerry Avant, who was with H&H Homes, indicated that it is now a requirement by postmasters, for builders to build cluster mailboxes. He also addressed the question of the width of sidewalks by stating that most are 4-5 foot wide and the cost differential would not merit the additional footage. He stated that there are additional issues that are affected when making this type of change. He also added that the developer does follow the Town's standards.

Member Higgins mentioned that age-targeted communities are new to Indian Trail. This is the 2nd development in Indian Trail.

Member Sandy asked which detention pond is getting more water. Mr. Velkovich reported that the detention ponds were to each receive approximately half of the run-off.

Opened Public Comment: none

Closed Public Comment

**Board discussion:**

Member Higgins liked the project; would like the board to think about barrier free sidewalks.

Member Sandy also liked the development; the issues were addressed; he thinks its a good project.

Member Aponte stated that it is a good project for Indian Trail.  
Member Brown liked the design and outlook.

Member Higgins made a motion to recommend approval to the Town Council for CZ2015-005 based on the findings that were read into the record. Member Sandy seconded the motion. The vote to recommend approval was unanimous.

**DISCUSSION ITEMS-** none

**OTHER BUSINESS**

Steve Long's resignation-effective 12/23/15  
Dr. Ally's resignation-effective 1/13/16  
Approval of 2016 meeting calendar.  
Motion to approve by Member Higgins, seconded by Chair Cowan. Vote to approve was unanimous.

**PLANNING REPORT**

Director Burhans began his report with staffing changes.  
Lindze Small has resigned to attend law school.  
A new addition to staff includes code enforcement officer, Kristin Redmond.

Director Burhans gave a power point and short review of population growth of the area communities. Indian Trail has had growth of approximately 9.3 percent from 2010-2014. Stallings growth is similar. Waxhaw growth was approx 22.8%. Director Burhans also showed a power point of permits for new homes. 2014-15 showed growth of approximately 250 permits per year. In 2015, 123 permits were issued for new businesses. He also showed residential solid waste and yard waste, as well recycling tons per household 2013-2015 and indicated that Indian Trail presently services approximately 12,400 households. Chair Cowan mentioned that she feels we should be promoting recycling options to businesses in Indian Trail. Staff Burhans answered that staff is encouraging developers and restaurants as well as Indian Trail being hands-on with residential solid waste. He agreed there is room for improvement. One way to promote recycling is through the schools. Various other ongoing projects in Indian Trail were mentioned by Staff Burhans (can be heard on Granicus). Discussion followed regarding the Monroe bypass and surrounding roads.

**ADJOURN**

Motion to adjourn by Member Sandy. Seconded by Member Brown. Vote to adjourn was unanimous.  
Meeting adjourned at 7:35pm.

Chairman:  
\_\_\_\_\_

Date: \_\_\_\_\_

Secretary:  
\_\_\_\_\_