

PROPOSED PARKING AND ACCESSIBLE PARKING CHART

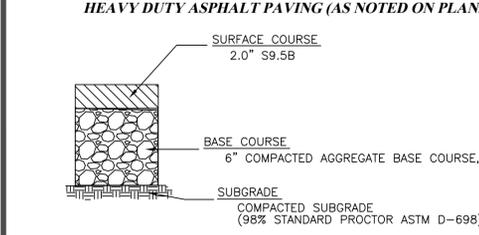
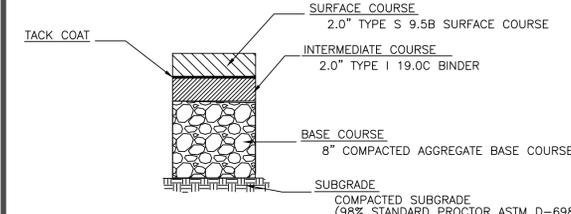
Lot or Parking Area	Total # of Parking Spaces		# of Accessible Spaces Provided		Total = Accessible Provided
	Required	Provided	Regular with 5' Access Aisle	Regular with 9' Access Aisle	
1 Bedroom Apartment (128 total)	1.5 spaces/unit = 192	193	6	8	16 (2% total parking spaces)
2 Bedroom Apartment (158 total)	2.0 spaces/unit = 316	317			
3 Bedroom Apartment (26 total)	2.5 spaces/unit = 65	66			
Guest	0.25 spaces/resident space = 144	145			
TOTAL	717 spaces	721			

Note: Required number of parking spaces per Town Of Indian Trail UDO

ZONING CODE SUMMARY
PROJECT NAME: EXCHANGE AT INDIAN TRAIL
PROPERTY OWNER: PLYLER ROAD PARTNERS LLC
PARCEL P.I.N.: 07084336
FEMA PANEL NUMBER: 5408
FEMA PANEL NUMBER: AE
CIVIL PLANS PREPARED BY: AMICUS PARTNERS, PLLC
PHONE: 704-573-1621
ZONING: C2-MFR JURISDICTION: TOWN OF INDIAN TRAIL
PROPOSED USE(S): MULTI-FAMILY ATTACHED
UNITS: 312
RESIDENTIAL DENSITY: 11.49 (UNITS/ACRE)
BUILDING SEPARATION: 28-FEET MINIMUM
TOTAL IMPERVIOUS AREA: 10.51 ACRES (39%)
TOTAL AREA OF SITE: 27.15 ACRES
CONDITIONAL ZONING APPROVAL FILE NUMBER: CZ2013-009
APPROVAL DATE: JUNE 24, 2014
FEMA PANEL NUMBER AND DATE: 3710540800J, 10/16/2009

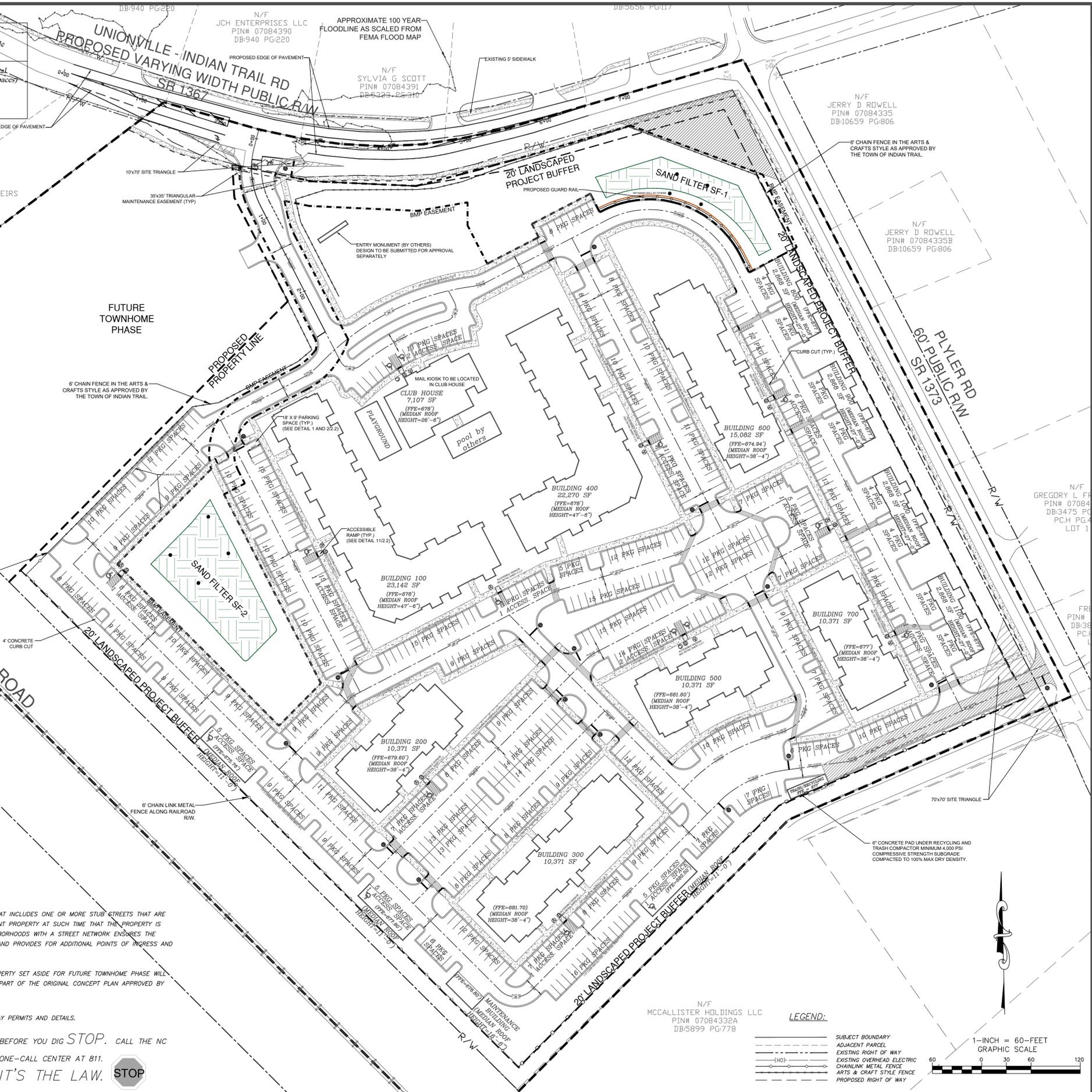
- NOTES:**
- AN OPERATION AND MAINTENANCE AGREEMENT WILL BE NEEDED FOR THE WATER QUALITY FEATURE BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
 - A 1/3 FOREVER BOND WILL BE REQUIRED FOR THE TOTAL CONSTRUCTION COST OF THE WATER QUALITY FEATURE BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED FOR THE PROPERTY.
 - A DECLARATION OF COVENANTS WILL BE REQUIRED FOR THE WATER QUALITY FEATURE BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
 - A PLAN SHOWING THE PUBLIC STORM DRAIN EASEMENT MUST BE RECORDED FOR THE WATER QUALITY FEATURE PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED.
 - AS-BUILT DRAWINGS NEED TO BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED. ADDITIONALLY, ALL AUTOCAD AS-BUILT FILES FOR ANY COMMERCIAL OR MAJOR RESIDENTIAL SITES MUST CONTAIN THE PROPER GEOSPATIAL REFERENCING INFORMATION BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

- RETAINING WALL NOTES:**
- DESIGN OF ALL RETAINING WALLS IS TO BE PER NORTH CAROLINA BUILDING CODE SECTION 1806.
 - DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY A NORTH CAROLINA LICENSED PROFESSIONAL ENGINEER, WILL BE SUBMITTED TO THE TOWN PRIOR TO CONSTRUCTION.
 - A NORTH CAROLINA LICENSED PROFESSIONAL ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE TOWN THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERING DRAWINGS.



LEGEND:
 --- SUBJECT BOUNDARY
 --- ADJACENT PARCEL
 --- EXISTING RIGHT OF WAY
 --- EXISTING OVERHEAD ELECTRIC
 --- CHAINLINK METAL FENCE
 --- ARTS & CRAFTS STYLE FENCE
 --- PROPOSED RIGHT OF WAY

REFERENCE: ALL PARCEL AND BOUNDARY INFORMATION, ADJACENT PROPERTIES, PROPERTY DIMENSIONS, AND COORDINATES, AND TOPOGRAPHIC INFORMATION REFERENCED FROM A SURVEY COMPLETED BY SOUTH POINT SURVEYING, PLLC.



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 Civil Site Design
 Low Impact Development
 Small-Scale Building Design
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EXCHANGE AT INDIAN TRAIL
 FOR
 HATHAWAY DEVELOPMENT
 3300 NORTHEAST EXPRESSWAY
 ATLANTA, GA 30341

Project Number: 17-20-012
 Date: 07-07-2021
 Drawn By: EML
 Checked By: NRP

Revisions:	Original Submittal
03-30-2020	Original Submittal
08-17-2020	Per Town of Indian Trail
09-30-2020	Per Town of Indian Trail
11-11-2020	Per Town of Indian Trail
02-02-2021	Per NCDOT
07-07-2021	Per NCDOT

Sheet Title:
SITE PLAN
 Sheet No:
C-2.0

