

PEBBLE CREEK ROAD EXTENSION CONSTRUCTION DOCUMENTS UNION, NORTH CAROLINA

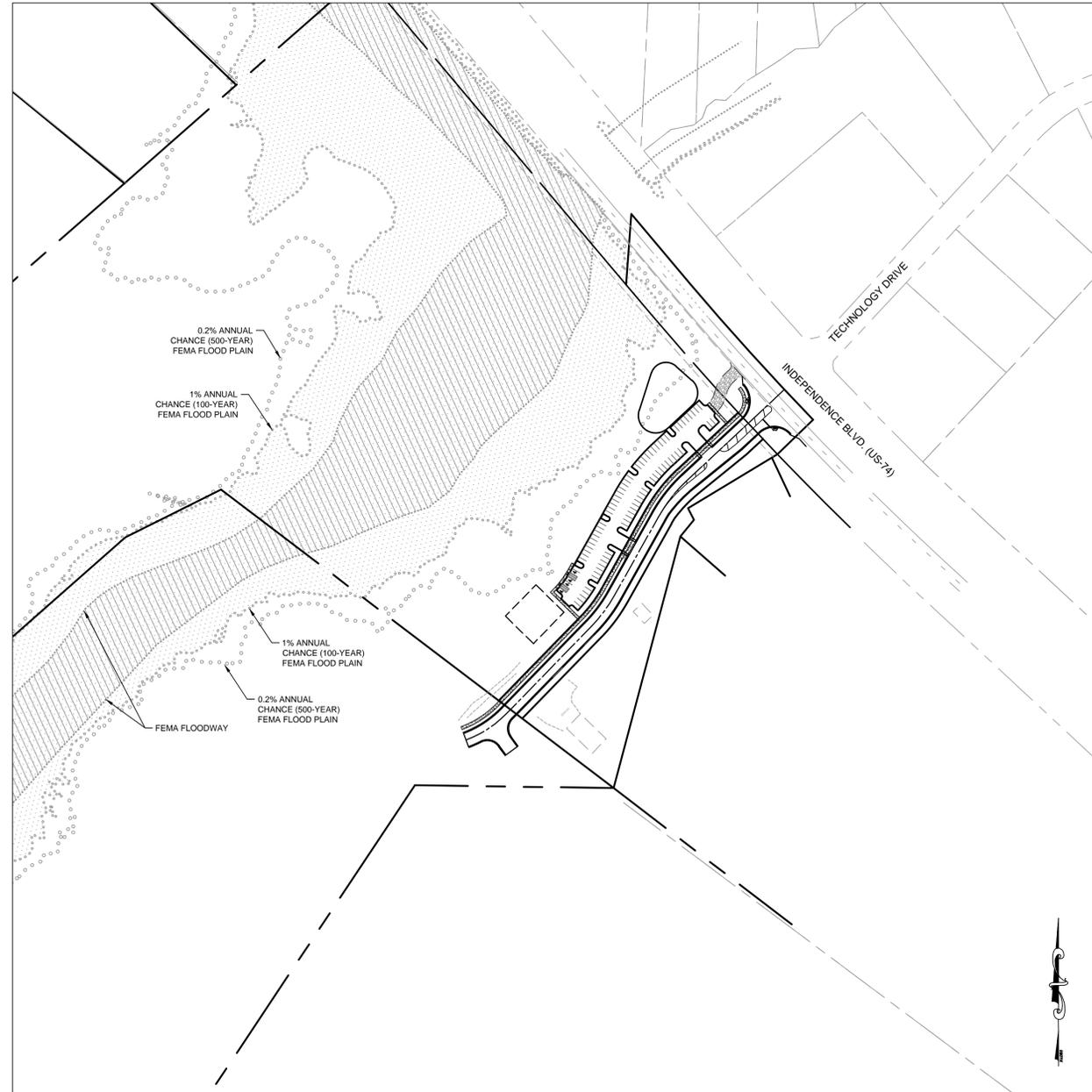
LEGEND

- ### SEWER
- 8" SAN ——— EXISTING SANITARY SEWER
 - 8" SAN ——— SANITARY SEWER
 - ① ——— SANITARY MANHOLE NUMBER
 - ⊙ ——— EX SANITARY MANHOLE
 - ⊙ ——— SANITARY MANHOLE
 - ⊙ ——— EXISTING CLEAN OUT
 - ——— CLEAN OUT

- ### WATER
- 16" W ——— EXISTING WATER LINE
 - 8" W ——— WATER LINE
 - ⊗ ——— EXISTING WATER VALVE
 - ⊗ ——— WATER VALVE
 - ⊠ ——— WATER METER
 - ⊕ ——— EXISTING FIRE HYDRANT
 - ⊕ ——— FIRE HYDRANT
 - |— WATER LINE PLUG
 - |— WATER LINE TEE

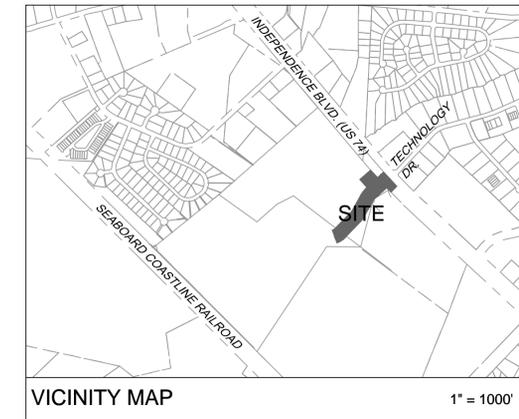
- ### MISCELLANEOUS UTILITIES
- ⊙ ——— EXISTING UTILITY POLE
 - OHP— EXISTING OVERHEAD ELECTRIC

- ### SITE
- EXISTING STORM SEWER
 - STORM SEWER
 - ——— EX DROP INLET
 - ① ——— DROP INLET & STRUCTURE NUMBER
 - ——— CATCH BASIN
 - ——— DOUBLE CATCH BASIN
 - ——— DROP INLET
 - ▲ ——— FLARED END SECTION
 - ⊙ ——— EXISTING STORM SEWER MANHOLE
 - ⊙ ——— STORM SEWER MANHOLE
 - ==== CURB & CUTTER
 - ==== PROPERTY LINE
 - ⊕ ——— BENCH MARK
 - LIMITS OF CONSTRUCTION
 - ~~~~~ EXISTING TREE LINE
 - ~~~~~ EXISTING SHRUB
 - ~~~~~ EXISTING TREE
 - EXISTING FENCE
 - FENCE
 - FLOODPLAIN
 - FLOODWAY
 - EXISTING CONTOUR
 - CONTOUR
 - T/C 95.32 E/P 95.32 SWL 95.32 ——— SPOT ELEVATION
 - C/L SWALE
 - EXISTING SIGN
 - SIGN
 - ——— PROPERTY MARKER FOUND / ROD FOUND
 - ⊙ ——— PIPE FOUND
 - ——— MONUMENT FOUND



VICINITY MAP
SCALE: 1" = 150'

MPV HIGHWAY 74 INVESTORS, LLC
2400 SOUTH BOULEVARD, SUITE 300
CHARLOTTE, NC 28203



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V-000	SURVEY
V-001	SURVEY
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C-706	DRAINAGE DETAILS
C-707	SAND FILTER DETAILS
C-708	DRY POND DETAILS
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE NOTES AND DETAILS



THIS DRAWING PREPARED AT THE
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610 E. Morehead Street, Suite 250 | Charlotte, NC 28202
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MPV HIGHWAY 74 INVESTORS, LLC
2400 SOUTH BOULEVARD, SUITE 300
CHARLOTTE, NC 28203

DATE: 03/12/2025
DRAWN BY: J. RIGNEY
DESIGNED BY: J. RIGNEY
CHECKED BY: K. BRADLEY
SCALE: AS SHOWN

TIMMONS GROUP
PEBBLE CREEK ROAD EXTENSION
INDIAN TRAIL DISTRICT - UNION COUNTY - NORTH CAROLINA
COVER

JOB NO. 70724
SHEET NO. C-000

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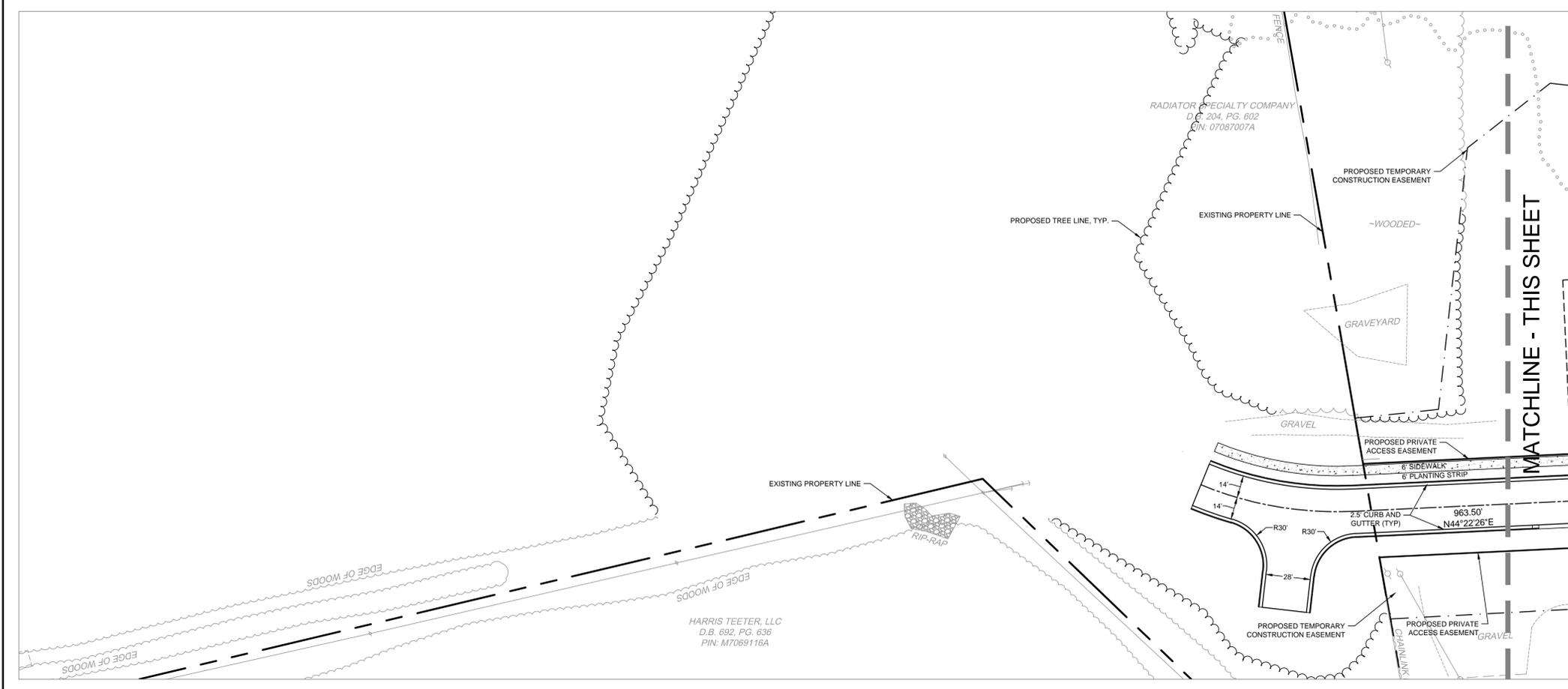
TIMMONS GROUP

PEBBLE CREEK ROAD EXTENSION

INDIAN TRAIL DISTRICT - UNION COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.
70724
SHEET NO.
C-201



LEGEND

---	LOT LINE
====	2'-6" STANDARD CURB & GUTTER
=====	1'-6" STANDARD CURB & GUTTER
-----	NATURAL SURFACE TRAIL
~~~~~	EXISTING TREE LINE
~~~~~	PROPOSED TREE LINE
	REINFORCED (HEAVY-DUTY) SIDEWALK
----	SIDEWALK
+	STOP SIGN
+	STREET SIGN
○	STREAM BUFFER
○	WETLANDS
○	LIGHT DUTY ASPHALT

SITE SUMMARY:

OWNER: MPV HIGHWAY 74 INVESTORS, LLC
2400 SOUTH BOULEVARD, SUITE 300
CHARLOTTE, NC 28203

TOTAL SITE AREA: 47.66± ACRES

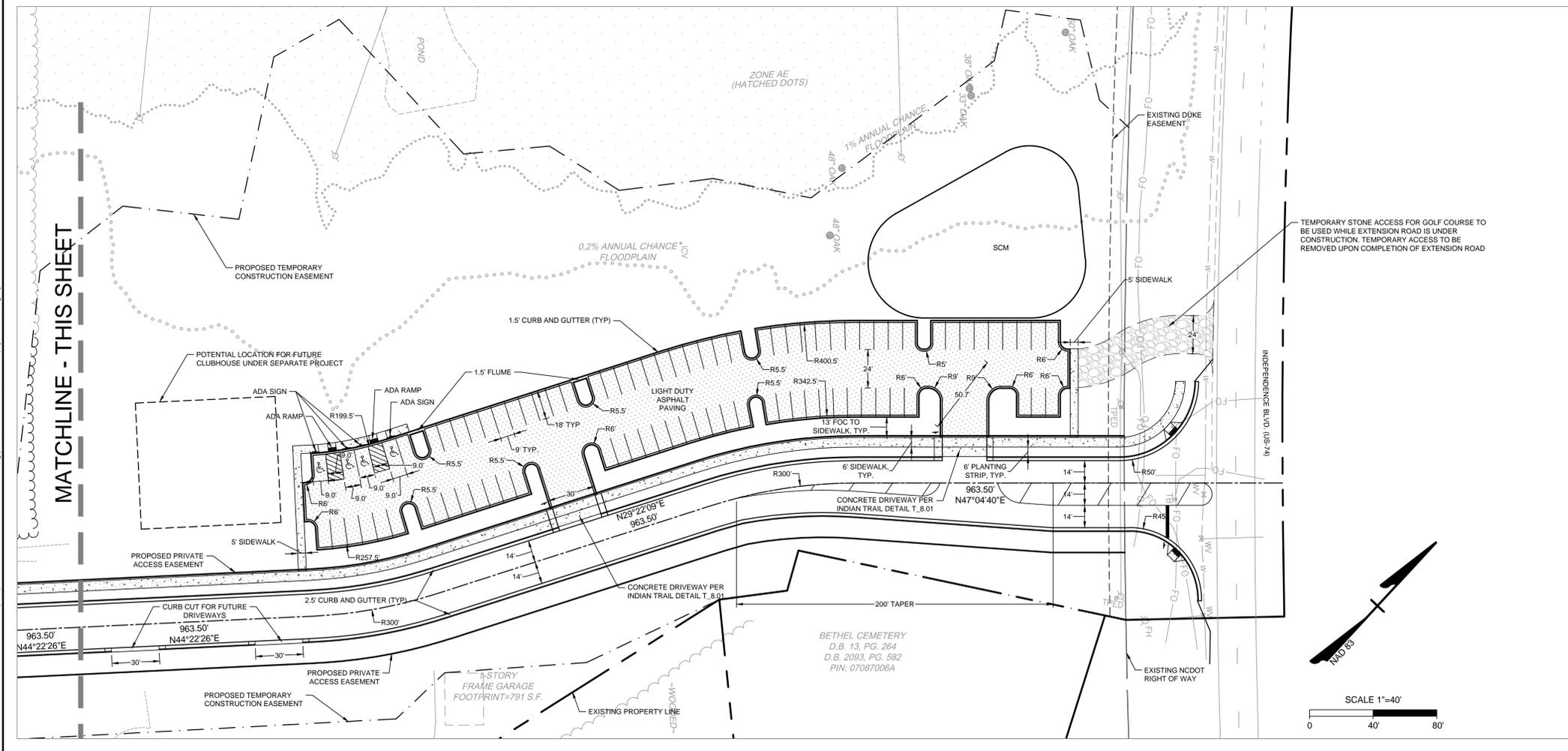
TAX PARCEL NUMBERS: 142-186; 142-173; 142-179;
142-178; 142-177; 142-176;
142-175; 142-174; 142-180

EXISTING ZONING: 07087006 RBD (REGIONAL BUSINESS DISTRICT)
07087006B RBD (REGIONAL BUSINESS DISTRICT)
07087006C RBD (REGIONAL BUSINESS DISTRICT)
07087007A L-1 (LIGHT INDUSTRIAL)

PARKING SPACES PROVIDED: 86 SPACES (INCL. 4 ADA SPACES)

SITE PLAN NOTES

- CURB AND GUTTER VARIES AT CATCH BASIN LOCATION. SEE DETAILS FOR CATCH BASIN PLACEMENT AND CURB TRANSITIONS.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH AND VERIFY POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY TIMMONS GROUP IMMEDIATELY OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO FRONT OF VALLEY CURB/EOP OR CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
- SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.
- ALL SIDEWALKS SHALL BE 5' - 0" UNLESS OTHERWISE NOTED.
- STREET FRONTAGE SIGNAGE (BUS STOP, NO PARKING, STREET NAME, SPEED LIMIT, NEIGHBORHOOD) SHOWN AT APPROXIMATE LOCATIONS. COORDINATE EXACT LOCATIONS WITH TOWN INSPECTOR.
- STOP SIGNS SHALL BE R1-1 30"x30".
- NO OBSTRUCTION OF PUBLIC R/W OR SIDEWALK WILL BE ALLOWED. NO PARKING IS ALLOWED OVER PUBLIC SIDEWALKS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- PIPE SYSTEMS AND OPEN CHANNELS ON PRIVATE PROPERTY SHALL BE PLACED IN A GENERAL DRAINAGE AND UTILITY EASEMENT (GDU). GDU SHALL BE A MINIMUM OF TWENTY FEET FOR PIPES AND TEN FEET FOR OPEN CHANNELS. ALL STORM DRAINAGE ARE KEPT SEPARATE FROM ANOTHER EASEMENT EXCEPT WHERE AN OVERLAP IS APPROVED BY THE APPROPRIATE CITY ENGINEERING DEPARTMENT FOR RESIDENTIAL SITES. THE EASEMENT SHALL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF 1% SLOPE ON THE CURB.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOOD LINE IS SUBJECT TO THE RESTRICTIONS OF THE TOWN OF INDIAN TRAIL LAND DEVELOPMENT STANDARDS.
- ALL UTILITIES WILL BE UNDERGROUND.



MATCHLINE - THIS SHEET

MATCHLINE - THIS SHEET

S:\104\70724 - Pebble Creek Road Industrial (MPV)\DWG\Sheet\CD\70724C-C200-SITE.dwg | Plotted on 3/12/2025 4:18 PM | by Jonathan Rigney

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